



MAYOR
Bert L. Cottle

CITY PLANNER
Tina Crawford

WASILLA PLANNING COMMISSION
Claudia Pinard, Seat A
Debra Barrett, Seat B
Jessica Dean, Seat C
Loren Means, Seat D
Brian Mayer, Seat E

**CITY OF WASILLA
PLANNING COMMISSION MEETING AGENDA
WASILLA CITY COUNCIL CHAMBERS**

Wasilla City Hall, 290 E. Hering Avenue, Wasilla, AK 99654 / 907-373-9020 phone

REGULAR MEETING
(Rescheduled from 9/13/16)

6 P.M.

SEPTEMBER 27, 2016

- I. CALL TO ORDER
- II. ROLL CALL
- III. PLEDGE OF ALLEGIANCE
- IV. APPROVAL OF AGENDA
- V. REPORTS
 - A. City Deputy Administrator
 - B. City Public Works Director
 - C. City Attorney
 - D. City Planner
- VI. PUBLIC PARTICIPATION *(three minutes per person, for items not scheduled for public hearing)*
- VII. CONSENT AGENDA
 - A. Minutes of August 9, 2016 regular meeting
- VIII. NEW BUSINESS *(five minutes per person)*
 - A. Public Hearing
 - 1. Item: Conditional Use Permit #16-02 (Reso. #16-11)
Applicant/
Owner: Charles and Laurel Morris
Request: Approval to construct a day care facility providing care for more than 25 children.
Total Area: 0.99 acres +/-
Location: 124 W. Spruce Avenue
Lot 11, Block 1, Adventure Estates Subdivision
Zoning: Rural Residential

- a. City Staff
- b. Applicant
- c. Private person supporting or opposing the proposal
- d. Applicant

2. Resolution Serial No. 16-12: Establishing a revised schedule of fees for Wasilla Land Development Code applications, identifying the review agencies, and repealing WPC Resolution No. 04-07.

B. Committee of the Whole

1. Discussion regarding possible revisions to Title 16 to establish a minimum square footage for single family residential homes.
2. Discussion regarding possible revisions to the landscaping and land clearing requirements in Title 16.

IX. UNFINISHED BUSINESS

X. COMMUNICATIONS

- A. Permit Information
- B. Enforcement Log
- C. Matanuska-Susitna Borough Planning Commission agenda

XI. AUDIENCE COMMENTS *(three minutes per person)*

XII. STAFF COMMENTS

XIII. COMMISSION COMMENTS

XIV. ADJOURNMENT

REGULAR MEETING

I. CALL TO ORDER

The regular meeting of the Wasilla Planning Commission was called to order at 6:00 PM on Tuesday, August 9, 2016, in Council Chambers of City Hall, Wasilla, Alaska by Jessica Dean, Chair.

II. ROLL CALL

Commissioners present and establishing a quorum were:

Debra Barrett, Seat B
Jessica Dean, Seat C
Brian Mayer, Seat E

Commissioners absent and excused were:

Claudia Pinard, Seat A
Loren Means, Seat D

Staff in attendance were:

Ms. Lyn Carden, City Deputy Administrator
Mr. Archie Giddings, Public Works Director
Ms. Tina Crawford, City Planner
Ms. Tahirih DesJardin, Planning Clerk
Ms. Leslie Need, City Attorney

III. PLEDGE OF ALLEGIANCE

A. Ms. Crawford led the Pledge of Allegiance.

IV. APPROVAL OF AGENDA

GENERAL CONSENT: The agenda was approved as presented.

V. REPORTS

A. City Deputy Administrator

Ms. Carden stated that the City is hosting the Alaska Municipal League summer conference at the Menard Sports Center and the attendees will be given a tour of the City. She also stated that the City Library will be closing on August 22, 2016 to move everything over to the new location and will reopen September 22, 2016 and that early voting will be available this Saturday and Sunday for the primary election.

B. City Public Works Director

Mr. Giddings reiterated when the Library will start moving items and reopening and that the City Staff met with DOT regarding the Main Street Couplet and that they were receptive to designing the couplet consistent with the Downtown Overlay.

C. City Attorney

Ms. Need stated that the appeal regarding the Wasilla Lake variance is still pending and that they are waiting for the court to set pretrial dates.

D. City Planner

Ms. Crawford stated that Commissioner Pinard will be not present at that the next meeting as well due to training and that the agenda would contain a conditional use for a day care facility and another Committee of the Whole discussion regarding landscaping and land clearing regulations.

VI. PUBLIC PARTICIPATION (*Three minutes per person for items not on agenda*)
No one stepped forward.

VII. CONSENT AGENDA

A. Minutes of July 12, 2016, regular meeting

GENERAL CONSENT: Minutes were approved as presented.

IX. NEW BUSINESS (*five minutes per person*)

A. Public Hearing

1. Item: Rezone #16-01 (Reso. #16-09)

Applicant: Michael D. Smith

Owner: Smith-Hagen Family Trust

Request: Rezone a portion of Lot 1, David Smith Subdivision, consisting of approximately 8.93 acres from Rural Residential/Commercial to Commercial (eastern 1.11± acres are currently zoned Rural Residential).

Total Area: 8.93 acres +/-

Location: 1515 S. Knik-Goose Bay Road
Lot 1, David Smith Subdivision

Zoning: Commercial/Rural Residential

a. City Staff

Ms. Crawford provided an overview of the staff report and recommendation of approval.

b. Applicant

The applicant did not make a presentation but was present for questions.

c. Private Person supporting or opposing the proposal

Chair Dean opened the public comment portion of the public hearing.

With no one stepping forward, Chair Dean closed the public comment portion of the public hearing.

d. Applicant

No comments.

MOTION: Commissioner Mayer moved to approve Rezone #16-01 (Resolution Serial #16-09), as presented.

VOTE: The motion to approved Rezone #16-01 (Resolution Serial #16-09) as presented, passed unanimously.

2. **Resolution Serial No. 16-10:** Amendment to WMC 16.16.060(B) and WMC 16.20.020(A), District Use Chart, to allow day care facilities with more than twenty-five people in the Rural Residential zoning district as a Conditional Use.

a. City Staff

Ms. Crawford provided an overview of the reason for the proposed code change.

Discussion moved to the Commission.

b. Private Person supporting or opposing the proposal

Chair Dean opened the public comment portion of the public hearing.

Ms. Kira Thompson stated that she is the individual that requested a day care facility that would provide care for more than 25 children in the Rural Residential zoning district. She provided the area needed for each child (35 SF) and stated that there is a need for large day care facilities within the City.

With no others stepping forward, Chair Dean closed the public hearing.

MOTION: Commissioner Mayer moved to approve Resolution Serial #16-10, as presented.

Discussion moved to the Commission.

VOTE: The motion to approved Resolution Serial #16-10 as presented, passed unanimously.

B. Committee of the Whole

MOTION: Commissioner Barrett moved to enter into the Committee of the Whole at 6:28 PM.

Entered into the Committee of the Whole for the following item:

1. Discussion regarding possible revisions to the landscaping and land clearing requirements in Title 16.

Discussion ensued.

MOTION: Commissioner Mayer moved to exit the Committee of the Whole at 7:19 PM.

X. UNFINISHED BUSINESS

No unfinished business.

XI. COMMUNICATIONS

No statements made regarding the following items.

- A. Permit Information
- B. Enforcement Log
- C. Matanuska-Susitna Borough Planning Commission agenda

XII. AUDIENCE COMMENTS (*three minutes per person*)

No comments.

XIII. STAFF COMMENTS

Ms. Carden stated that the Wasilla Centennial Committee had ordered lapel pins and provided one to each Commissioner and that she is looking forward to seeing everyone at the year-long celebrations.

Ms. Need stated that it is very important to have a good purpose statement for the landscape code and that the Commission should look back at previous land clearing waiver requests when drafting new code language.

XIV. COMMISSION COMMENTS

Commissioner Barrett stated that she appreciates the City Attorney’s perspective and is looking forward to working on the landscape plan.

Commissioner Mayer stated there will be differences in option regarding the landscape plan and that it will take a while for this process to go forward, but he is enjoying working on something that will shape the future of Wasilla.

Chair Dean stated she concurs with Commission Mayer.

XV. ADJOURNMENT

The regular meeting adjourned at 7:24 PM.

JESSICA DEAN, Chair Date

ATTEST:

TAHIRIH DESJARDIN, Planning Clerk

Adopted by the Wasilla Planning Commission -, 2016.



STAFF REPORT
Prepared by:
For the meeting of:

Case # CU 16-02
Planning Staff
September 27, 2016

I. SUMMARY FACTS:

Applicant: Charles Morris, Artic Fox Steel Buildings LLC
Owners: Charles and Laurel Morris
Proposal: Approval to construct a day care facility providing care for more than 25 children on a lot in the Rural Residential zoning district.
Location: 124 W. Spruce Avenue
Lot 11, Block 1, Adventure Estates Subdivision
Parcel Size: 0.99 acres±
Existing Zoning Rural Residential
Future Land Use: Mixed Use
Surrounding Zoning: North: No zoning – outside city limits
South: Rural Residential
East: Rural Residential
West: Rural Residential

II. STAFF RECOMMENDATION:
Approval with conditions

III. COMPLIANCE WITH WMC 16.16.050 – GENERAL APPROVAL CRITERIA

16.16.050 *An administrative approval, use permit, elevated administrative approval, elevated use permit or conditional use may be granted if the following general approval criteria and any applicable specific approval criteria of Section 16.16.060 are complied with. The burden of proof is on the applicant to show that the proposed use meets these criteria and applicable specific criteria for approval. An approval shall include a written finding that the proposed use can occur consistent with the comprehensive plan, harmoniously with other activities allowed in the district and will not disrupt the character of the neighborhood. Such findings and conditions of approval shall be in writing and become part of the record and the case file.*

16.16.050(1)&(5) *Neighbors/Neighborhoods. Due deference has been given to the neighborhood plan or comments and recommendations from a neighborhood with an approved neighborhood plan.*

Staff Finding: This criterion is not applicable since the lot is not within an area with an adopted neighborhood plan.

16.16.050(2) *Plans. The proposal is substantially consistent with the city comprehensive plan and other city adopted plans.*

Staff Finding: The proposed day care facility is consistent with the Comprehensive Plan's *Expected Future Land Use Map* designation, "Mixed Use", and the Rural Residential zoning that implements the adopted Comprehensive Plan.

16.16.050(3) *Special Uses. The proposal is substantially consistent with the specific approval criteria of Section 16.16.060.*

Staff Finding: The proposal is consistent with the specific approval criteria in WMC Section 16.16.060(B) for day care facilities that provide care to more than 25 children. The criteria require that the total lot area be greater than or equal to 40,000 SF, have frontage and direct access onto a roadway classified as an Arterial, Major Collector, Minor Collector, or Commercial street, and that the lot does not share a lot line with property zoned R1 or R2. The subject lot is approximately 43,000 SF, has frontage and access onto Spruce Avenue (Major Collector), and does not share a property line with a lot zoned R1 or R2.

16.16.050(4) *Reviewing Parties. Due deference has been given to the comments and recommendations of reviewing parties.*

Staff Finding: The City mailed 25 notices to neighboring property owners within 1200' and the 25 review agencies that are typically provided with the opportunity to comment. Only one comment from the Borough Fire Code office was received at time of preparation of this staff report, which indicated that building plans must be submitted to them for review/approval. Any comments received after the compilation of the packet will be provided at the public hearing.

16.16.050(6) *Fire Safety and Emergency Access. The proposal shall not pose a fire danger as determined by the State Fire Marshal or the fire chief of the district in which the proposed use is located. Adequate access for emergency and police vehicles must be provided.*

Staff Finding: The Borough Fire Chief's office will review the proposed building for compliance with all applicable fire codes, building codes and emergency access related to the public health, safety and welfare.

16.16.050(7) *Traffic. The proposed use shall not overload the street system with traffic or result in unsafe streets or dangers to pedestrians...*

Staff Finding: The proposed day care facility will not significantly impact the street system or create a danger to pedestrians since the access point to the facility is onto Spruce Avenue, which is a major collector roadway.

16.16.050(8) *Dimensional Standards. The dimensional requirements of Section 16.24.010 are met.*

Staff Finding: The attached site plan submitted by the applicant complies with the minimum setbacks and maximum height requirements.

16.24.050(9) *Parking. The parking, loading areas, and snow storage sites for the proposed development shall be adequate, safe and properly designed. The developer may be required to install acceptable lighting at pedestrian or vehicular access points.*

Staff Finding: The attached site plan indicates the provision of 18 paved parking spaces (min. 14 required), adequate paved aisle widths, and adequate snow storage on the site.

However, the site plan does not show the landscaping around the perimeter of the parking area that is required in WMC 16.24.040(D)(4). The 10' planting bed along the perimeter of the parking area that is adjacent to the street must contain trees, shrubs, flowers, boulders, mulch and fencing. The site plan only proposes six trees.

Additionally, a 10' planting bed is required along the non-street sides of the parking area that contains plantings that attain an average height of two feet within two years of planting and that are grouped to allow for snow storage areas. The planting bed along the eastern perimeter of the parking area is consistent with this requirement but the western perimeter does not have the required planting bed.

To ensure consistency with this requirement, staff is proposing Condition #2 at the end of the staff report.

16.16.050(10) *Utilities. The proposed use shall be adequately served by water, sewer, electricity, on-site water or sewer systems and other utilities.*

Staff Finding: The site will be served by on-site water and septic system and other utilities are available in the area.

16.16.050(11) *Drainage. The proposed use shall provide for the control of runoff during and after construction. All roads and parking areas shall be designed to alleviate runoff into public streets, adjoining lots and protect rivers lakes and streams from pollution. Uses may be required to provide for the*

conservation of natural features such as drainage basins and watersheds, and land stability.

Staff Finding: The proposed site plan shows the drainage directed to southern portion of the lot.

16.16.050(12) *Large Developments. Residential development of more than four units or non-residential development of more than ten thousand (10,000) square feet gross floor area may be required to provide a site plan showing measures to be taken for the preservation of open space, sensitive areas and other natural features; provision of common signage; provision for landscaping and provisions for safe and effective circulation of vehicles, pedestrians and bicycles. Nonresidential large developments must be located with frontage on one of the following class of streets: interstate, minor arterial, major collector or commercial.*

Staff Finding: Sufficient open space and vehicle and pedestrian circulation is provided, the lot is located on Spruce Avenue (major collector roadway); and signage will be reviewed for consistency with Title 16 at time of submittal of sign permit.

16.16.050(13) *Peak Use. The proposed use shall not result in significantly different peak use characteristics than surrounding uses or other uses allowed in the district.*

Staff Finding: The proposed use will not result in significantly different peak use characteristics than the surrounding uses or area since the property is located in an area has a mix of residential and commercial uses. Also, the lot is zoned Rural Residential, which allows a commercial business with up to 10,000 square feet of gross floor area and is located on Spruce Avenue, which is a major collector roadway.

16.16.050(14) *Off-Site Impacts. The proposal shall not significantly impact surrounding properties with excessive noise, fumes or odors, glare, smoke, light, vibration, dust, litter, or interference in any radio or television receivers off the premises, or cause significant line voltage fluctuation off the premises. Radio transmitters and any electronic communications equipment regulated by the Federal Communications Commission is specifically excluded from regulation by this section. Welding, operation of electrical appliances or power tools, or similar activities that cause off site impacts as described above are specifically regulated by this subsection. Buffering may be required to ameliorate impacts between residential and nonresidential uses. The owner of the property upon which the buffer is constructed is responsible for the maintenance of the buffer in a condition that will meet the intent of these criteria.*

Staff Finding: The proposed day care facility will not have any negative impacts on the surrounding area with the exception of the potential noise from the playground areas adjacent to the residential home to the west. The existing vegetation retained along the southern portion of the lot should provide adequate buffering for the homes to the south/southwest.

To ensure consistency with this criterion, staff is recommending approval of Condition #3 which will adequately address excess noise from the day care facility that may impact the residential home to the west. It requires that a 25' wide strip of existing natural vegetation be retained along the length of the western property line and that a six foot tall opaque fence be installed along the eastern edge of this vegetative buffer. Retention of this vegetative area will require the building to be shifted to the east a minimum of 20' and a relocation/reorientation of the playground facility along the eastern end of the building.

16.16.050(15) *Landscaping. The proposed use shall be designed in a manner that minimizes the removal of trees and vegetative cover, and shall conform to the standards in this title concerning the provision and maintenance of landscaping, and any landscaping plan that is required for the proposed use under this title. The approval authority also may condition approval on the provision of the following:*

- a. A fenced storage area for common use, adequate to store boats, trailers, snowmobiles, recreational vehicles and similar items.*
- b. Adequately sized, located and screened trash receptacles and areas.*

Staff Finding: The proposed landscape plan does not meet the landscaping requirements in Title 16. Additionally, the proposed location of the septic system will require clearing of more than 70 percent of the lot, which is prohibited per WMC 16.33.050 without prior Planning Commission approval. However, with the approval of Conditions #2 and #3, the landscaping will meet the requirements. (see Criteria 16.16.050(9) and (14) for additional information regarding required landscaping.)

16.16.050(16) *Walkways, Sidewalks and Bike Paths. Pedestrian walkways or bicycle paths may be required where necessary to provide reasonable circulation or access to schools, playgrounds, shopping areas, transportation or other community facilities. Improvements must be constructed to standards adopted by the engineer.*

Staff Finding: A pedestrian walkway is currently located along the south side of Spruce Avenue.

Water, Sewage and Drainage Systems. If a proposed use is within five hundred (500) feet of an existing, adequate public water system, the developer may be required to construct a distribution system and the connection to the public system. A developer may be required to increase the size of existing public water, sewer or drainage lines or to install a distribution system within the development. The commission may require any or all parts of such installation to be oversized. The developer must submit to the engineer an acceptable plan that shows that if within ten (10) years an increase in capacity will be required to serve other areas how these needs will be met by oversized facilities. When installation of oversized facilities is required, the developer shall install such facilities at their own expense. The developer shall be reimbursed the amount determined by the engineer to be the difference in cost between the installed cost of the oversized utility lines and the installed cost of the utility lines adequate to serve both the development concerned and all other land to be served by the lines which is owned or under the control of the developer, provided the developer may not be required to install facilities unless funds for such oversizing have been appropriated for the purpose by the city and there is a sufficient unencumbered balance in the balance in the appropriation. No reimbursement may be made unless the developer has entered into such agreement with the city, including conveyances of personal property including lines, lift stations and valves and conveyances of land or rights in land, as the city determines may be necessary to ensure complete control by the city of its sewer, drainage and water lines when they are extended to serve the property of the developer. Notwithstanding the requirement that the developer construct improvements to existing systems, the commission may elect to accomplish the design or construction, or both, of improvements to be made to existing public systems. In such a case, the commission may require advance payment to the city of the estimated cost of work to be accomplished by the city. The developer shall reimburse the city for all expenses of such design or construction not paid in advance. A public system is adequate if, in the judgment of the engineer, it is feasible for the developer to make improvements to the public system which will provide the increased capacity necessary to serve the existing users and the new development at the same level as is being provided to the existing users. Prior to approval of a use for which a community water system is required, the developer must submit evidence showing that there is available a satisfactory source of water. A source of water is satisfactory only if it can be shown that the proposed source will produce water sufficient in quality and quantity to supply the development. The water system and the connection between such distribution systems and the source must be

sized and constructed to meet fire flow and hydrant requirements for fire protection and that the developer has obtained or can obtain a water appropriation permit or certificate for the water from the state. The system must be built to city specifications available from the engineer.

Staff Finding: City water and sewer is not available for the site. The applicant will be required to obtain the necessary permits from the Alaska Department of Environmental Conservation. Additionally, the site plan shows drainage directed to southern portion of the lot.

16.16.050(18) *Historic Resources. The proposed use shall not adversely impact any historic resource prior to the assessment of that resource by the city.*

Staff Finding: The Matanuska-Susitna Borough Cultural Resources Office was notified of this application but did not provide any comments or objections.

16.16.050(19) *Appearance. The proposed use may be required to blend in with the general neighborhood appearance and architecture. Building spacing, setbacks, lot coverage, and height must be designed to provide adequate provisions for natural light & air.*

Staff Finding: The proposed building design shown in the elevation drawings is not consistent with the appearance and architecture of the residential or neighborhood commercial buildings in the surrounding area or the uses allowed in the Rural Residential zoning district. The proposed building is a large industrial-type building with very little architectural relief or fenestration. This type of design is not in character with the surrounding residential and neighborhood commercial uses and will have a negative impact on the visual aesthetics of this area.

16.16.050(20) *Open Space and Facilities. The applicant may be required to dedicate land for open space drainage, utilities, access, parks or playgrounds. Any dedication required by the city must be based on a written finding that the area is necessary for public use or safety and the dedication is in compliance with adopted municipal plans and policy. The city finding shall conclude that a direct connection exists between the development and the need for the provision of the dedication...*

Staff Finding: No additional land is necessary for open space and facilities.

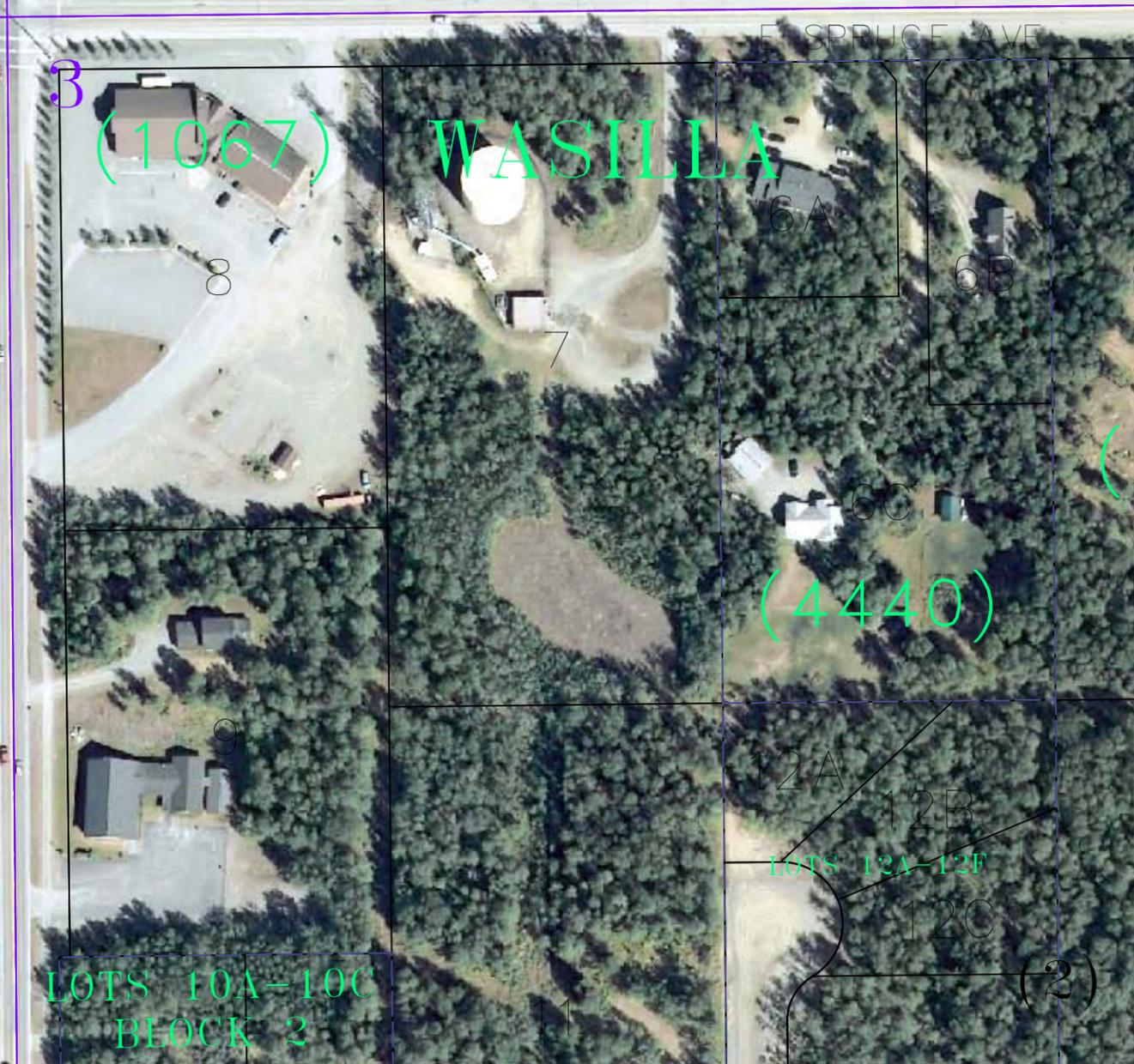
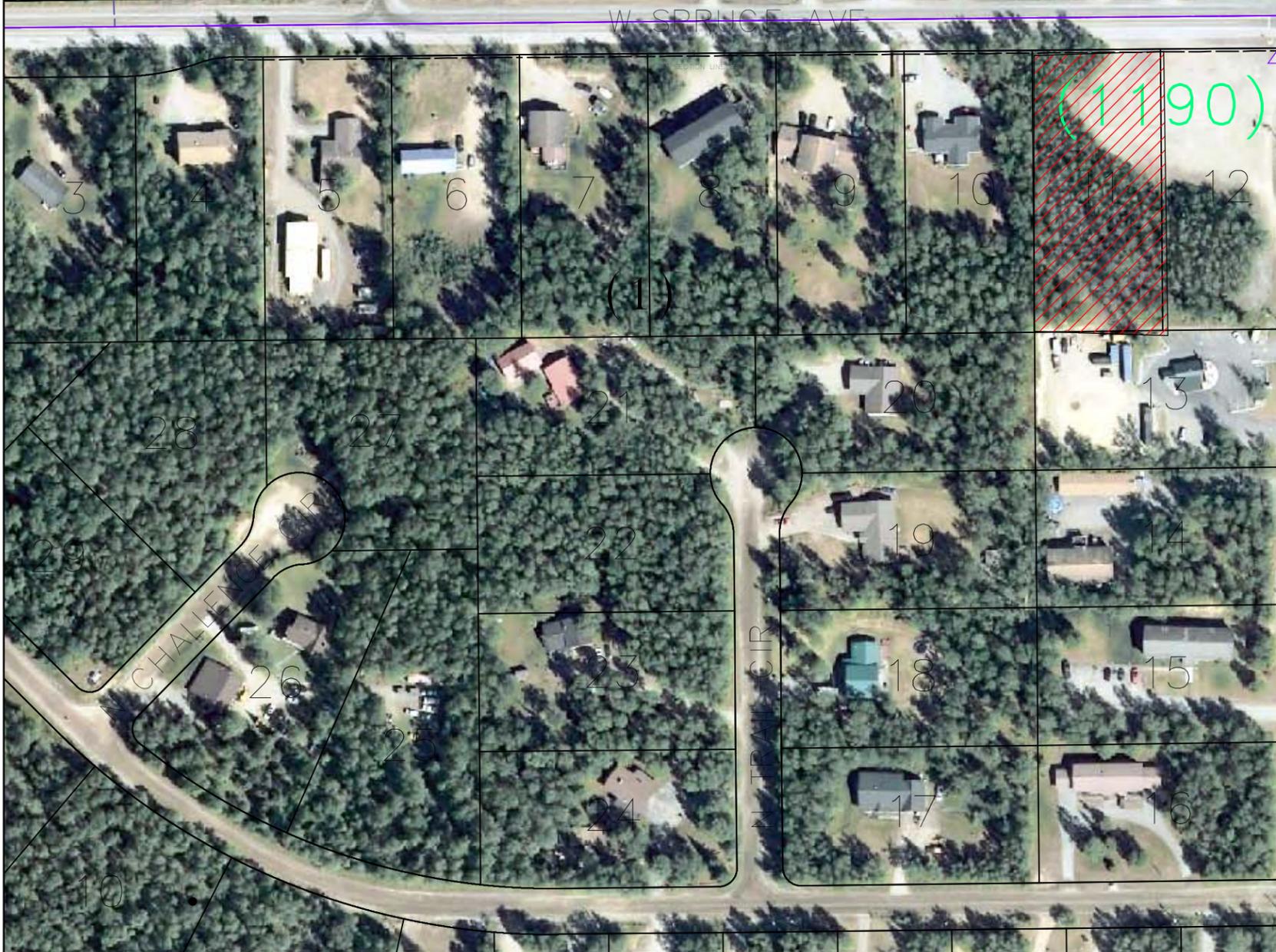
16.16.050(21) *Winter Hassles. The proposed use shall not significantly increase the impact on the surrounding area from glaciation or drifting snow.*

Staff Finding: There are no foreseeable problems anticipated from winter conditions.

IV. CONCLUSION AND RECOMMENDED CONDITIONS OF APPROVAL:

Staff recommends approval of this request with the following conditions:

1. A revised site plan must be submitted to the City Planner prior to any construction activity on the site that addresses the following items prior to any construction activity on the site. Upon approval, the revised site plan will be incorporated into Resolution Serial No. 16-11 as Exhibit B. Any proposed substantial modification to the approved revised site plan requires submittal of an amended conditional use permit application, including application fee and Planning Commission review and approval.
 - a. The building must be shifted to the east a minimum of 20' with the necessary revisions to the playground facility along the eastern end of the building in order to provide the required buffering/screening required in Title 16.
2. A revised landscape plan must be submitted to the City Planner for review/approval that addresses the following items prior to any construction activity on the site. Upon approval, the revised site plan will be incorporated into Resolution Serial No. 16-11 as Exhibit C. Any proposed substantial modification to the approved revised landscape plan requires submittal of an amended conditional use permit application, including application fee and Planning Commission review and approval.
 - a. A minimum of a 25' wide strip of existing natural vegetation must be retained along the length of the western property line;
 - b. A six foot tall opaque fence must be installed along the eastern edge of this vegetative buffer; and
 - c. The septic system must be relocated to a location that is outside the area designated as required 30 percent of the lot required to remain in natural vegetation.
3. Revised elevation drawings for the building must be submitted to the City Planner for review and approval by the Planning Commission prior to any construction activity on the site other than the building foundation/footings. The revised drawings must incorporate building design characteristics that add architectural detail, depth, and fenestration similar to the building designs and photographs included in the packet. Once approved, the elevation drawings will be incorporated into Resolution Serial No. 16-11 as Exhibit C.
4. The Matanuska-Susitna Borough Fire Chief's office must review this proposal for compliance with all applicable fire codes, building codes and emergency access as related to the public health, safety and welfare prior to construction.
5. The applicant must obtain the appropriate permit approvals for installation of a well and septic system from the State of Alaska Department of Environmental Conservation.
6. An as-built survey must be submitted to the Planning Department after completion of the building.



EXAMPLES OF SURROUNDING USES AND ARCHITECTURAL BUILDING DESIGN



King's Chapel – Facing south from Spruce Avenue (east of Lucille Street)



King's Chapel facing east/northeast from Lucille Street (south of Spruce)



King of Kings Church – facing north/northeast from Lucille Street (south of Spruce)



King of Kings Church – facing east from Lucille **Street (south of Spruce)**



Metro Café – Facing west from Lucille Street (south of Spruce)



Metro Café – Facing west/southwest from Lucille Street (south of Spruce)



Residential Home + Xpress Auto Detail – facing south from Spruce (subject property to left)



Residential Home + Xpress Auto Detail – facing southeast from Spruce toward subject property

PLOT DATE: 9/9/16

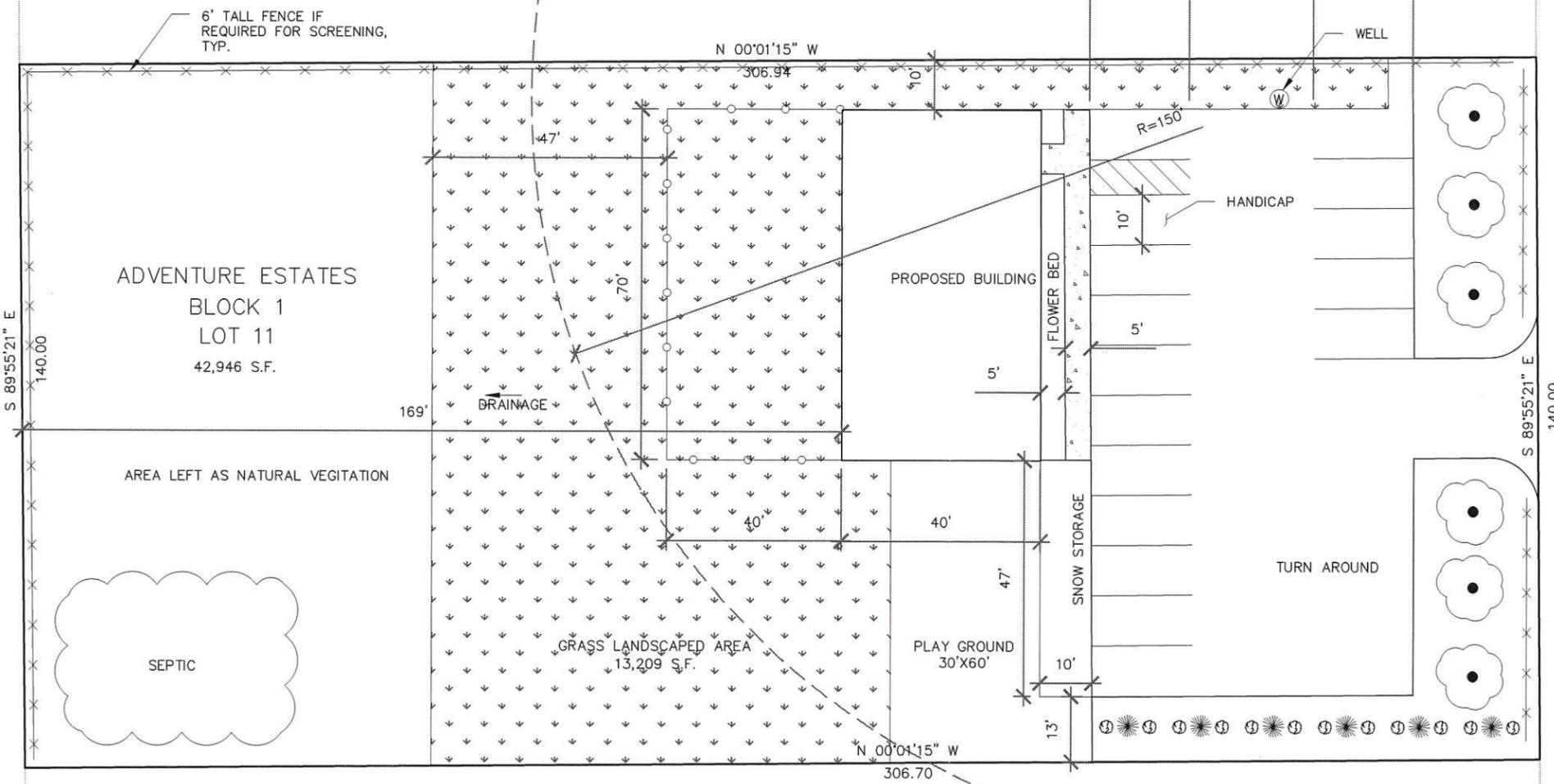
FILE: F:\01 DWG\CURRENT\KAROUSEL KIDZ PLOT PLAN.DWG

SITE AREA DATA ANALYSIS

TOTAL DEVELOPED SITE AREA: 42,946 SF
 REQUIRED LANDSCAPED AREA: 12,883 SF
 ACTUAL LANDSCAPED AREA: 13,482 SF
 NATURAL VEGETATION: 13,898 SF
 REQUIRED SNOW STORAGE: 400 SF
 ACTUAL SNOW STORAGE: 459 SF
 TOTAL PARKING SPACES: 18
 TOTAL HANDICAP PARKING SPACES: 1
 REQUIRED PARKING LOT LANDSCAPE: 3,047 SF
 ACTUAL PARKING LOT LANDSCAPE: 3,827 SF
 REQUIRED NUMBER OF NEW TREES PLANTED: 6
 ACTUAL NUMBER OF NEW TREES PLANTED: 12
 REQUIRED NUMBER OF NEW SHRUBS PLANTED: 12
 ACTUAL NUMBER OF NEW SHRUBS PLANTED: 12

SYMBOL LEGEND

-  8' TO 10' CATGNE ASTOR TREES
-  8'-10' PAPER BIRCH TREES
-  24" TO 36" HIGH COTTONEASTER (COTTONEASTER LUCIDUS)
-  FENCE



SOUND DESIGN
 3435 N. Daisy Petal Cr.
 Wasilla, AK 99654
 907.373.7060
 www.sounddesignak.com
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KAROUSEL KIDS PLOT PLAN
 ADVENTURE ESTATES, BLK 1, LOT 11
 WASILLA AK

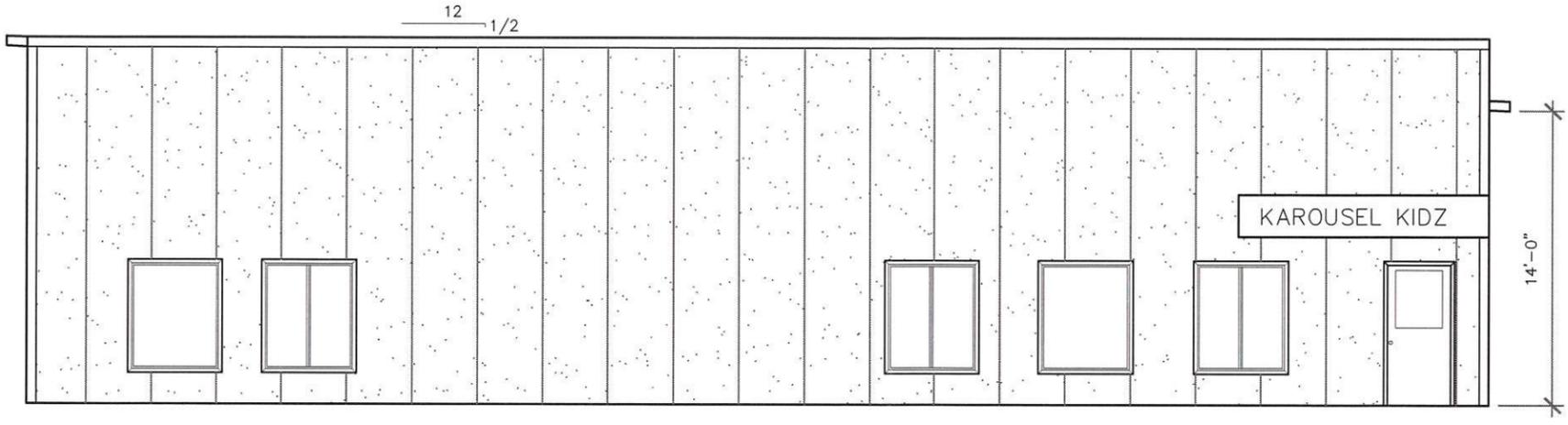
Revisions		
NO.	REVISION	DATE
X	Revision	XX/XX/XX

Sheet Contents
 - Plot Plan

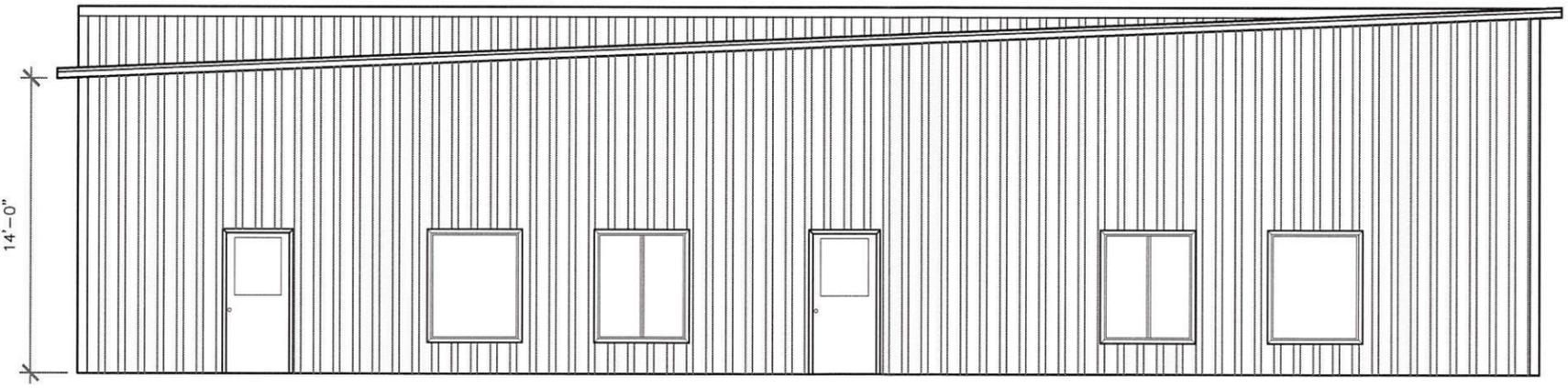
DRAFTING DISCIPLINE Civil	
DRAWN BY: KEB	SHEET NUMBER: C1.01
CHECKED BY: TS	
DATE: 9/9/2016	

RECEIVED
 SEP 12 2016
 Planning Office
 City of Wasilla

A1 PLOT PLAN
 C1.01 SCALE: 1"=30'



A1 FRONT ELEVATION
 A2.01 SCALE: 1/8" = 1'-0"



A2 BACK ELEVATION
 A2.01 SCALE: 1/8" = 1'-0"



SOUND DESIGN
 3435 N. Daisy Petal Cr.
 Wasilla, AK 99654
 907.373.7060
 www.sounddesignak.com
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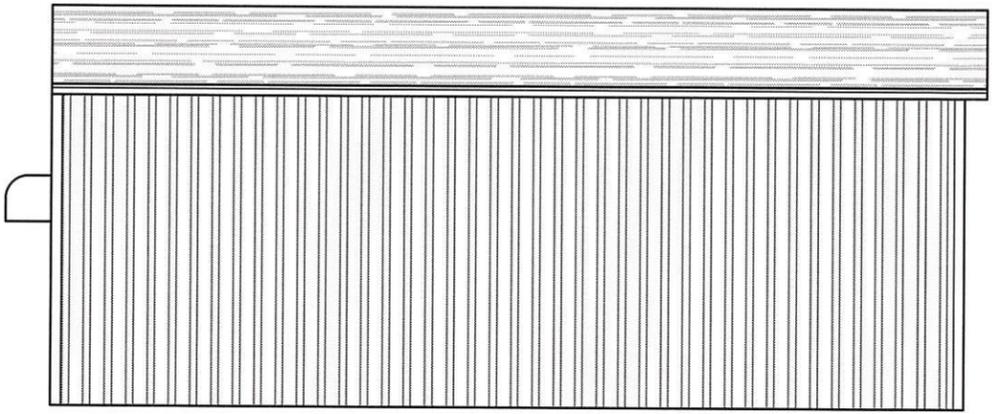
KAROUSEL KIDS DAYCARE
 ADVENTURE ESTATES, BLK 1, LOT 11
 WASILLA AK

Revisions		
NO.	REVISION	DATE
X	Revision	XX/XX/XX

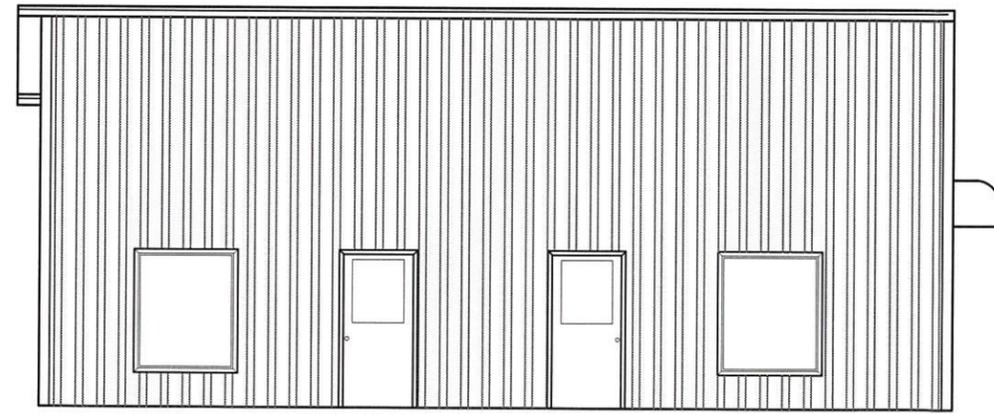
Sheet Contents
 - Front & Back Elevations

DRAFTING DISCIPLINE Architectural	
DRAWN BY: KEB	SHEET NUMBER: A2.01
CHECKED BY: TS	DATE: 9/9/2016

RECEIVED
 SEP 12 2016
 Planning Office
 City of Wasilla



A1 RIGHT ELEVATION
A3.01 SCALE: 1/8" = 1'-0"



A2 LEFT ELEVATION
A3.01 SCALE: 1/8" = 1'-0"



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3435 N. Daisy Petal Cr.
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KAROUSEL KIDS PLOT PLAN
ADVENTURE ESTATES, BLK 1, LOT 11
WASILLA AK

Revisions

NO.	REVISION	DATE
X	Revision	XX/XX/XX

Sheet Contents

- Right & Left Elevations

RECEIVED

SEP 12 2016

Planning Office
City of Wasilla

DRAFTING DISCIPLINE
Architectural

DRAWN BY :
KEB

CHECKED BY :
TS

DATE :
9/9/2016

SHEET NUMBER :

A3.01

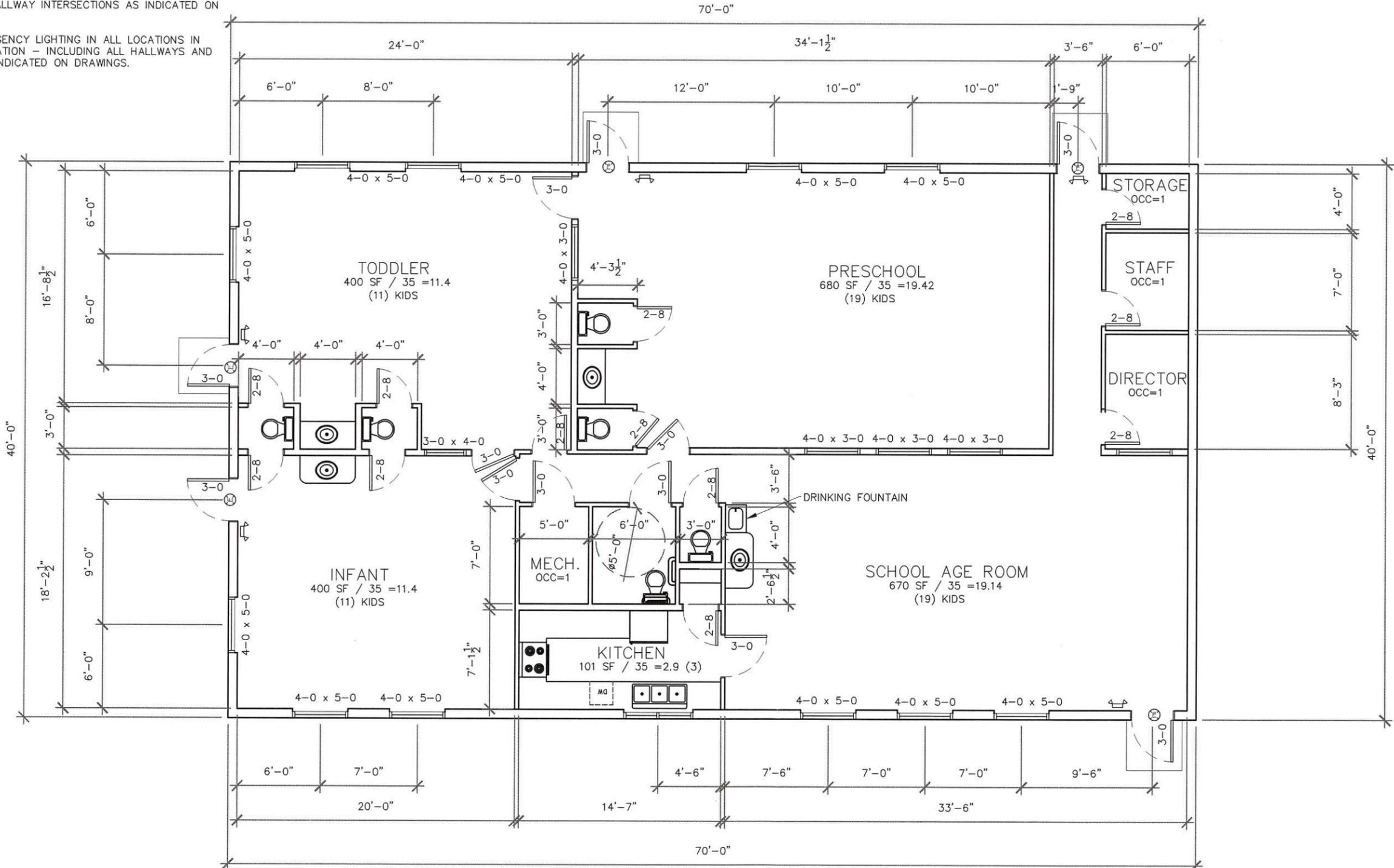
OCCUPANT LOAD = 69

PLACE ONE FIRE EXTINGUISHER IN EACH CLASS ROOM NEAR EXTERIOR EXIT.

PLACE A CO/SMOKE DETECTOR IN EACH CLASS ROOM.

Ⓢ PROVIDE ILLUMINATED EGRESS SIGNAL ABOVE ALL EGRESS DOORS AND HALLWAY INTERSECTIONS AS INDICATED ON DRAWINGS.

Ⓢ PROVIDE EMERGENCY LIGHTING IN ALL LOCATIONS IN PREVIOUS NOTATION - INCLUDING ALL HALLWAYS AND LANDINGS AS INDICATED ON DRAWINGS.



SOUND DESIGN

3435 N. Daisy Petal Cr.
Wasilla, AK 99654
907.373.7060
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KAROUSEL KIDS DAYCARE
ADVENTURE ESTATES, BLK 1, LOT 11
WASILLA AK

Revisions

NO.	REVISION	DATE
X	Revision	XX/XX/XX

Sheet Contents

- First Floor Plan

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Planning Office
City of Wasilla

A1 FLOOR PLAN
A1.01 SCALE: 1/8" = 1'-0"

DRAFTING DISCIPLINE
Architectural

DRAWN BY: KEB
CHECKED BY: TS
DATE: 9/9/2016
SHEET NUMBER:
A1.01

PLOT DATE: 9/9/16

FILE: F:\01 DWG\CURRENT\KAROUSEL KIDZ.DWG

NOTIFICATION OF PUBLIC HEARING

DATE: September 13, 2016

CASE: CU 16-02

APPLICANT(S)/

PROPERTY OWNER: Charles and Laurel Morris

REQUEST:

Conditional use approval to construct a day care facility providing care for more than 25 children on a lot in the Rural Residential zoning district. Located at 124 W. Spruce Avenue, Lot 11, Block 1, Adventure Estates Subdivision.

You are being notified of this action as you are a property owner within 1,200' of the subject property, (WMC 16.16.040). A Planning Commission public hearing on this request is scheduled for **September 27, 2016 at 6:00 PM** in the City Council Chambers. Comments may be submitted in writing by filling in the spaces provided below and mailing to: City of Wasilla, Planning Office, 290 E. Herning Ave, Wasilla, AK 99654. If there is not enough room below please attach a separate piece of paper. Comments may also be faxed to (907) 373-9021 or emailed to planning@ci.wasilla.ak.us. Written comments on this request must reach the Planning Office on or before September 19, 2016 in order to be included in the packet. Comments received after that date will be available at the public hearing.

Anyone wishing to review the application for this case is encouraged to contact the Planning Office for additional information.

Name Richard Boothby

Address 101 W Swanson Ave, Wasilla AK 99654

Lot _____ Block _____ Subdivision _____

Comments:
Please notify applicant that a fire and life safety plan review will need to be applied for by submitting an application and supporting documents to Central Mat-Su Fire Department's Fire Code Office - (907) 861-8030.



CITY OF WASILLA
PLANNING OFFICE
290 E HERNING AVE
WASILLA, AK 99654
PHONE 373-9020 FAX 373-9021

Richard Boothby
EMS/Central Mat-Su Fire Dept
Fire Code Official Captain
101 W. Swanson Ave
Wasilla, AK 99654

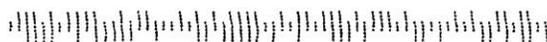
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ZIP 99654
041L11222587

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Central Mat-Su FSA

FIRST CLASS

NOTICE OF PUBLIC HEARING

99654#6828 0007



Tahirih DesJardin

From: Michelle Wagner <Michelle.Wagner@matsugov.us>
Sent: Monday, September 19, 2016 4:03 PM
To: Planning
Subject: Conditional Use Approval - 124 W Spruce Ave
Attachments: Scan_Stat51FireCode@Sharp.com_20160919_160006.pdf

Please see attached response for a fire and life safety plan review of the new building.


Michelle R. Wagner
Fire Code Permit Technician

Matanuska Susitna Borough
Department of Emergency Services
Central Mat-Su Fire Department | Fire Code Office
Physical Address: 1911 S Terrace Court, Palmer
Mailing Address: 101 W Swanson Ave, Wasilla, Alaska 99654
Office: 907-861-8030 | fax: 907-861-8157 | www.matsugov.us/firecode

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CITY OF WASILLA
• Planning Office •
290 East Herning Avenue • Wasilla • Alaska • 99654-7091
• Telephone 907-373-9020 •

Planning Office
City of Wasilla

APPLICATION FOR CONDITIONAL USE CU# 16 - 02

PROPERTY OWNER*	OWNER'S REPRESENTATIVE (If Any)
Name: <u>Charles Morris</u>	Name: <u>Arctic Fox Steel Buildings LLC</u>
Mailing Address: <u>751 Reeve Circle</u> <u>Wasilla AK 99654</u>	Mailing Address: <u>751 Reeve Circle</u> <u>Wasilla AK 99654</u>
Contact Phone: Day <u>907-355-5443</u> Night <u>same</u>	Contact Phone: Day <u>907-376-5443</u> Night <u>-</u>
FAX: <u>907-357-7663</u>	FAX: <u>907-357-7663</u>
E-mail: <u>arcfox@mtaonline.net</u>	E-mail: <u>arcfox@mtaonline.net</u>

*Attach list of additional owners if any.

PROPERTY INFORMATION	
Size of property: <u>.92 acres</u>	
Property tax # <u>51190B01L011</u>	
Street Address: <u>124 W. Spruce Ave, Wasilla</u>	
Legal Description: Lot(s) <u>11</u> Block <u>1</u> Subdivision <u>Adventure Estates</u>	
OR Parcel/Tract _____ Section _____ Township _____ Range _____	
[Attach additional page if necessary.]	
Zoning: RR Residential <input checked="" type="checkbox"/> R1 Single-family Residential <input type="checkbox"/> R2 Residential <input type="checkbox"/>	
RM Multi-family <input type="checkbox"/> C Commercial <input type="checkbox"/> Industrial <input type="checkbox"/> Public <input type="checkbox"/>	
Requested Use: <u>Daycare facility</u>	

AUTHORITY TO APPLY FOR CONDITIONAL USE :

I hereby certify that I am (I am authorized to act for the) owner of the property and that I am applying for a Conditional Use in conformance with Title 16 of the Wasilla Municipal Code of Ordinances. I understand that payment of the application fee is nonrefundable and is to cover the costs associated with processing this application, and that it does not assure approval of the conditional use.

[Signature]
Applicant

8-24-16
Date

Owner (if different from the applicant)

Date

* All activity regulated or permitted under this title must comply with applicable borough, state & federal laws & regulations. (WMC 16.04.030)

Comprehensive Plan Information

Expected Future Land Use Map shows property as :

Generally Residential Parks Mixed Use Area Generally Commercial/Business Generally Industrial Public/Institutional **Land Use**

Describe current use of property covered by this application:

Bare lot / none

Surrounding property: (Describe how land adjacent to the property is currently being used.)

North:

Residential

South:

Commercial

East:

Commercial / Church

West:

*Commercial / Residential***Attach a written narrative addressing the following Criteria –***(attached)*

16.16.050

A. An administrative approval, use permit, elevated administrative approval, elevated use permit or conditional use may be granted if the following general approval criteria and any applicable specific approval criteria of Section 16.16.060 are complied with. The burden of proof is on the applicant to show that the proposed use meets these criteria and applicable specific criteria for approval. An approval shall include a written finding that the proposed use can occur consistent with the comprehensive plan, harmoniously with other activities allowed in the district and will not disrupt the character of the neighborhood. Such findings and conditions of approval shall be in writing and become part of the record and the case file.

1. Neighbors. Due deference has been given to the neighborhood plan or comments and recommendations from a neighborhood with an approved neighborhood plan.
2. Plans. The proposal is substantially consistent with the city comprehensive plan and other city adopted plans.
3. Special Uses. The proposal is substantially consistent with the specific approval criteria of Section 16.16.060.
4. Reviewing Parties. Due deference has been given to the comments and recommendations of reviewing parties.
5. Neighborhoods. Due deference has been given to the neighborhood plan or comments and recommendations from a neighborhood with an approved neighborhood plan.
6. Fire Safety and Emergency Access. The proposal shall not pose a fire danger as determined by the State Fire Marshal or the fire chief of the district in which the proposed use is located. Adequate access for emergency and police vehicles must be provided.
7. Traffic. The proposed use shall not overload the street system with traffic or result in unsafe streets or dangers to pedestrians.
8. Dimensional Standards. The dimensional requirements of Section 16.24.010 are met.
9. Parking. The parking, loading areas and snow storage sites for the proposal shall be adequate, safe and properly designed. The developer may be required to install acceptable lighting at pedestrian or vehicular access points.

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10. Utilities. The proposed use shall be adequately served by water, sewer, electricity, on-site water or sewer systems and other utilities.
11. Drainage. The proposed use shall provide for the control of runoff during and after construction. All roads and parking areas shall be designed to alleviate runoff into public streets, adjoining lots and protect rivers, lakes and streams from pollution. Uses may be required to provide for the conservation of natural features such as drainage basins, watersheds, and land stability.
12. Large Developments. Residential development of more than four units or nonresidential development of more than ten thousand (10,000) square feet gross floor area may be required to provide a site plan showing measures to be taken for the preservation of open space, sensitive areas and other natural features; provision of common signage; provision for landscaping and provisions for safe and effective circulation of vehicles, pedestrians and bicycles. Nonresidential large developments must be located with frontage on one of the following classes of streets: interstate, minor arterial, major collector or commercial.
13. Peak Use. The proposed use shall not result in significantly different peak use characteristics than surrounding uses or other uses allowed in the district.
14. Off-Site Impacts. The proposal shall not significantly impact surrounding properties with excessive noise, fumes or odors, glare, smoke, light, vibration, dust, litter, or interference in any radio or television receivers off the premises, or cause significant line voltage fluctuation off the premises. Radio transmitters and any electronic communications equipment regulated by the Federal Communications Commission is specifically excluded from regulation by this section. Welding, operation of electrical appliances or power tools, or similar activities that cause off-site impacts as described above are specifically regulated by this subsection. Buffering may be required to ameliorate impacts between residential and nonresidential uses. The owner of the property upon which the buffer is constructed is responsible for the maintenance of the buffer in a condition that will meet the intent of this criteria.
15. Landscaping. The proposed use shall be designed in a manner that minimizes the removal of trees and vegetative cover, and shall conform to the standards in this title concerning the provision and maintenance of landscaping, and any landscaping plan that is required for the proposed use under this title. The approval authority also may condition approval on the provision of the following: <ol style="list-style-type: none"> a. A fenced storage area for common use, adequate to store boats, trailers, snowmobiles, recreational vehicles and similar items. b. Adequately sized, located and screened trash receptacles and areas.
16. Walkways, Sidewalks and Bike Paths. Pedestrian walkways or bicycle paths may be required where necessary to provide reasonable circulation or access to schools, playgrounds, shopping areas, transportation or other community facilities. Improvements must be constructed to standards adopted by the engineer.
17. Water, Sewage and Drainage Systems. If a proposed use is within five hundred (500) feet of an existing, adequate public water system, the developer may be required to construct a distribution system and the connection to the public system. A developer may be required to increase the size of existing public water, sewer or drainage lines or to install a distribution system within the development. The commission may require any or all parts of such installation to be oversized. The developer must submit to the engineer an acceptable plan that shows that if within ten (10) years an increase in capacity will be required to serve other areas, how these needs will be met by oversized facilities. When installation of oversized facilities is required, the developer shall install such facilities at their own expense. The developer shall be reimbursed the amount determined by the engineer to be the difference in cost between the installed cost of the oversized utility lines and the installed cost of the utility lines adequate to serve both the development concerned and all other land to be served by the lines which is owned or under the control of the developer, provided the developer may not be required to install facilities unless

*** All activity regulated or permitted under this title must comply with applicable borough, state & federal laws & regulations. (WMC 16.04.030)**

funds for such oversizing have been appropriated for the purpose by the city and there is a sufficient unencumbered balance in the balance in the appropriation. No reimbursement may be made unless the developer has entered into such agreement with the city, including conveyances of personal property including lines, lift stations and valves and conveyances of land or rights in land, as the city determines may be necessary to ensure complete control by the city of its sewer, drainage and water lines when they are extended to serve the property of the developer. Notwithstanding the requirement that the developer construct improvements to existing systems, the commission may elect to accomplish the design or construction, or both, of improvements to be made to existing public systems. In such a case, the commission may require advance payment to the city of the estimated cost of work to be accomplished by the city. The developer shall reimburse the city for all expenses of such design or construction not paid in advance. A public system is adequate if, in the judgment of the engineer, it is feasible for the developer to make improvements to the public system which will provide the increased capacity necessary to serve the existing users and the new development at the same level as is being provided to the existing users. Prior to approval of a use for which a community water system is required, the developer must submit evidence showing that there is available a satisfactory source of water. A source of water is satisfactory only if it can be shown that the proposed source will produce water sufficient in quality and quantity to supply the development. The water system and the connection between such distribution systems and the source must be sized and constructed to meet fire flow and hydrant requirements for fire protection and that the developer has obtained or can obtain a water appropriation permit or certificate for the water from the state. The system must be built to city specifications available from the engineer.

18. Historic Resources. The proposed use shall not adversely impact any historic resource prior to the assessment of that resource by the city.

19. Appearance. The proposed use may be required to blend in with the general neighborhood appearance and architecture. Building spacing, setbacks, lot coverage, and height must be designed to provide adequate provisions for natural light and air.

20. Open Space and Facilities. The applicant may be required to dedicate land for open space drainage, utilities, access, parks or playgrounds. Any dedication required by the city must be based on a written finding that the area is necessary for public use or safety and the dedication is in compliance with adopted municipal plans and policy. The city finding shall conclude that a direct connection exists between the development and the need for the provision of the dedication. No land may be accepted by the city unless:

- a. The location, shape, size and character of the area is suitable for the planned use;
- b. The uses authorized for an area are appropriate to the scale and character of the uses considering its size, density, expected population, topography, and the number and type of dwellings and uses to be conducted;
- c. The area must be suitably improved for its intended use, but common open space containing natural features worthy of preservation may be left unimproved;
- d. If the final development plan provides for buildings, landscaping or other improvements in the dedicated area, the developer must provide a bond or other adequate assurance that such improvements will be completed. The city shall release the bond or other assurance when the buildings, structures or improvements have been completed according to the development plan;
- e. All land must be conveyed under one of the following options:
 - i. It may be conveyed to an agency that will agree to maintain in perpetuity the area and any buildings, structures, or improvements which have been placed on it.
 - ii. When no maintenance of the area is required, it may be conveyed to all new owners in undivided joint ownership.
 - iii. When the land is not dedicated to a public agency and maintenance of the common space is

*** All activity regulated or permitted under this title must comply with applicable borough, state & federal laws & regulations. (WMC 16.04.030)**

required, an association for maintenance of the area must be established. Covenants establishing the association must be approved as to form by the city attorney, and by the commission as to whether the covenants provide for maintenance of the area in a manner which assures its continuing use for its intended purpose.

iv. Conveyance of an area must be consistent with AS 34.07 the Horizontal Property Regime Act.

21. Winter Hassles. The proposed use shall not significantly increase the impact on the surrounding area from glaciation or drifting snow. (Ord. 06-47(AM) § 4, 2006; prior code § 16.43.508)

Application Check list:

- Applicant has owner's authorization to submit application.
- Narrative addressing criterion is attached.
- Application fee.
- Legal description.

Accepted by:	Representative Affidavit: N/A <input type="checkbox"/> Attached <input type="checkbox"/>	Fee: 9/13/16 \$500.00 # 7646	Tentative WPC Hearing Date:
--------------	---	---------------------------------	-----------------------------

City Planner Approval:

This Land Use Permit is valid beginning _____, 20_____, unless an appeal is filed, upon which all activity must cease on this property.

Approval of City Planner: _____ Date: _____

Notice of Right to Appeal: All decisions of the City Planner are appealable per WMC Title 16.

* All activity regulated or permitted under this title must comply with applicable borough, state & federal laws & regulations. (WMC 16.04.030)

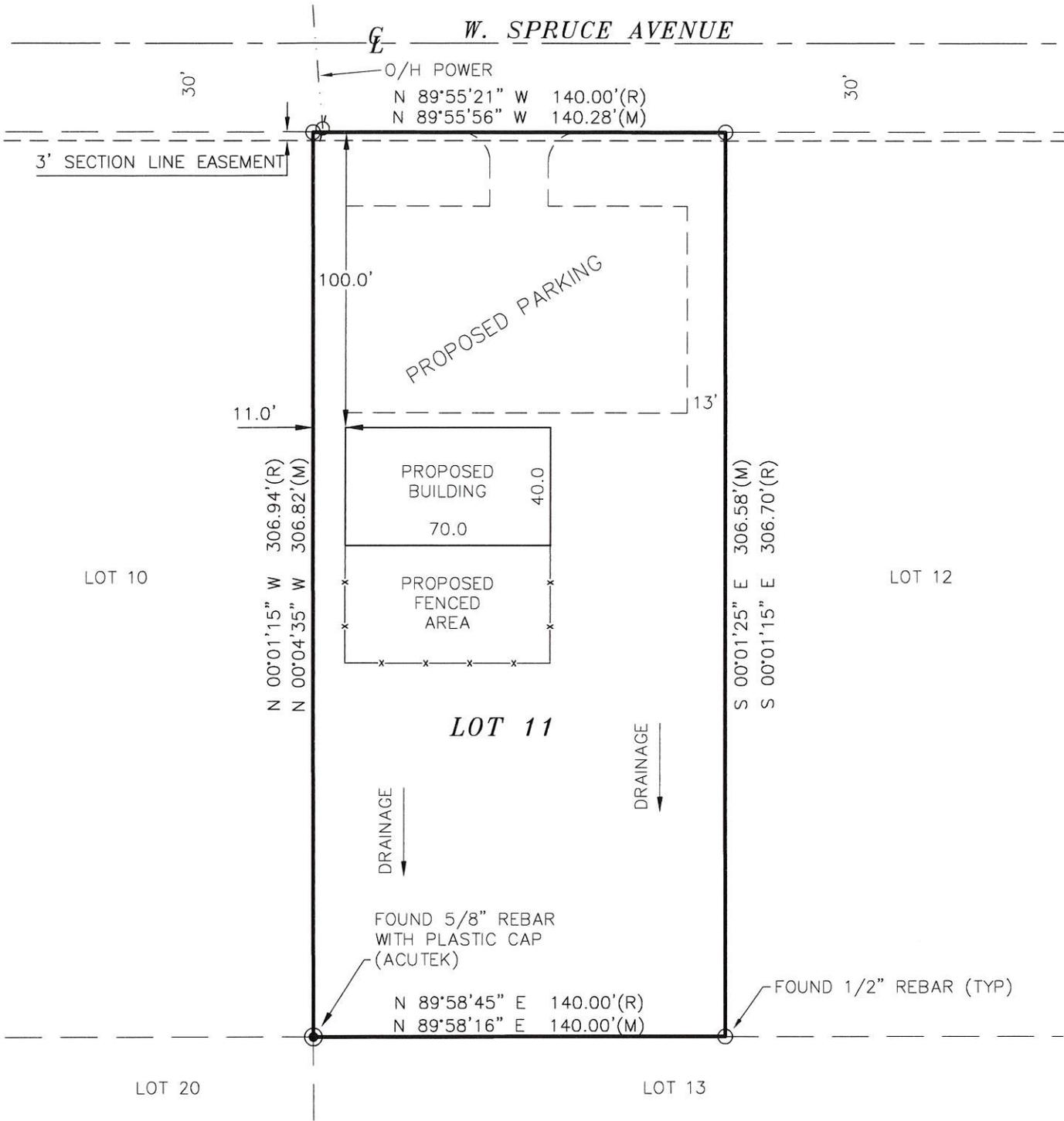
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City of Wasilla**

16.16.050

1. A daycare facility is complimentary to the neighborhood.
2. The planning board indicated that there was definitely a need for this kind of service.
3. Yes
4. Yes
5. A daycare facility is complimentary to the neighborhood.
6. The daycare facility will not pose a fire danger and adequate access for emergency and police vehicles will be provided.
7. Proposed use will not overload the street system or result in unsafe streets or dangers to pedestrians.
8. Yes
9. Parking and snow storage sites will be adequate, safe and properly designed.
10. Utilities will be adequate.
11. Drainage and runoff will be controlled during and after construction.
12. This is not a large development.
13. Consistent with rush hour traffic.
14. The proposed should not significantly impact surrounding properties with any of the items listed in #14.
15. We will give careful attention to landscape, storage area and trash receptacle requirements.
16. OK
17. We will provide private water and sewage.
18. OK
19. OK
20. OK
21. OK



LOT SURVEY & SITE PLAN

LOT 11, BLOCK 1, ADVENTURE ESTATES

PALMER RECORDING DISTRICT, ALASKA

BULL MOOSE SURVEYING

ROBERT S. HOFFMAN
 200 HYGRADE LANE, WASILLA, ALASKA 99654
 (907) 357-6957 FAX (907) 357-6977
 VISIT US AT BULL MOOSE SURVEYING.COM

NOTES:

1. IT IS THE RESPONSIBILITY OF THE OWNER TO DETERMINE THE EXISTENCE OF ANY EASEMENTS, COVENANTS, OR RESTRICTIONS WHICH DO NOT APPEAR ON THE RECORDED SUBDIVISION PLAT.
2. ALL BEARINGS AND DISTANCES SHOWN ARE RECORD, UNLESS OTHERWISE NOTED.



DRAWN BY:
RSH

DATE OF SURVEY:
9/8/2016

PREPARED FOR: **CHUCK MORRIS**
dba Arctic Fox Steel Buildings

CHECKED BY:
SES

SECTION TWP. RANGE
4 17N 1W S.M.

SCALE:
1"=50'

PLAT #76-50

SOUND DESIGN

BUILDING PLANS WITH YOU IN MIND

3435 N. Daisy Petal Wasilla AK 99654 907.373.7060 v
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KAROUSEL KIDZ DAYCARE

ADVENTURE ESTATES, BLK 1, LOT 11
WASILLA ALASKA 99654
2776 SQ. FT.

SEPTEMBER 2016

ISSUED FOR REVIEW

9/9/16

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City of Wasilla

CODE ANALYSIS:

AUTHORITY HAVING JURISDICTION:
 APPLICABLE CODES:

STATE OF ALASKA - FIRE MARSHAL'S OFFICE
 MAT-SU BOROUGH - CENTRAL MAT-SU FIRE DEPT.
 2009 INTERNATIONAL BUILDING CODE (IBC)
 2009 INTERNATIONAL FIRE CODE (IFC)
 NATIONAL FIRE PROTECTION CODE (NFPA 101), LIFE SAFETY CODE
 2009 INTERNATIONAL MECHANICAL CODE (IMC)
 2006 UNIFORM PLUMBING CODE (UPC/ANSI UPC)
 2011 NATIONAL ELECTRIC CODE (NEC & NFPA 70)

OCCUPANCY CLASSIFICATION:
 FIRE BARRIERS:

EDUCATIONAL GROUP E:
 TABLE 508.4 - THERE IS NO FIRE SEPARATION REQUIRED

GENERAL BUILDING HEIGHTS AND AREAS:

TABLE 503 (TYPE V-B AND OCCUPANCY E)

ALLOWABLE:
 BUILDING HEIGHT:
 BUILDING AREA PER FLOOR:

1 STORY
 9,500 SQ.FT.

ACTUAL:
 MAIN BUILDING HEIGHT:
 MAIN BUILDING AREA PER FLOOR:

1 STORY
 2,800 SQ.FT.

AUTOMATIC SPRINKLER SYSTEM:

GROUP E - 903.2.3 - SPRINKLER IS NOT REQUIRED

FIRE ALARM & DETECTION:

GROUP E - 907.2.3 - MANUAL FIRE ALARM IS REQUIRED

FIRE EXTINGUISHERS:

906.1 PORTABLE FIRE EXTINGUISHERS:
 SIZE & TYPE: 2A10BC
 TO BE INSTALLED IN ALL LOCATIONS AS REQUIRED BY:
 THE INTERNATIONAL FIRE CODE IFC 906. INSTALL EXTINGUISHERS 48" ABOVE FINISH FLOOR.

OCCUPANT LOAD:

STORAGE/MECH 35 / 300 = 0.117 (1)
 BUSINESS 114 / 100 = 1.14 (2)
 DAY CARE 2331 / 35 = 66.6 (67)

EGRESS WIDTH:

TABLE 1005.1 - EGRESS WIDTH PER OCCUPANT SERVED:
 DOORS: REQUIRED: 70 OCCUPANTS X 0.3" = 21"
 PROVIDED: 5 - 36" DOORS = 180"

PLUMBING FIXTURE COUNT:

PER TABLE 2902.1 - OCCUPANCY E W/ OCCUPANT LOAD - 70 - REQUIRES:
 WATER CLOSETS: 1 MENS
 LAVATORIES: 1 WOMENS
 DRINKING FOUNTAINS: 1 MENS
 SERVICE SINKS: 1 WOMENS

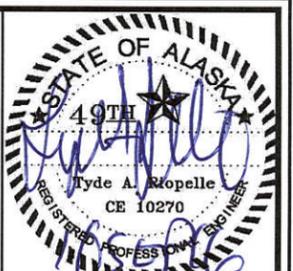
SHEET INDEX

Cover Sheet
 G1.01 Code analysis, Sheet Index
 C1.01 Site Plan
 A1.01 First Floor Plan
 A2.01 Building Elevations
 A3.01 Building Elevations

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KAROUSEL KIDS DAYCARE
 ADVENTURE ESTATES, BLK 1, LOT 11
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NO.	REVISION	DATE
X	Revision	XXXXXXXX

Sheet Contents

- Code Analysis

DRAFTING DISCIPLINE
General

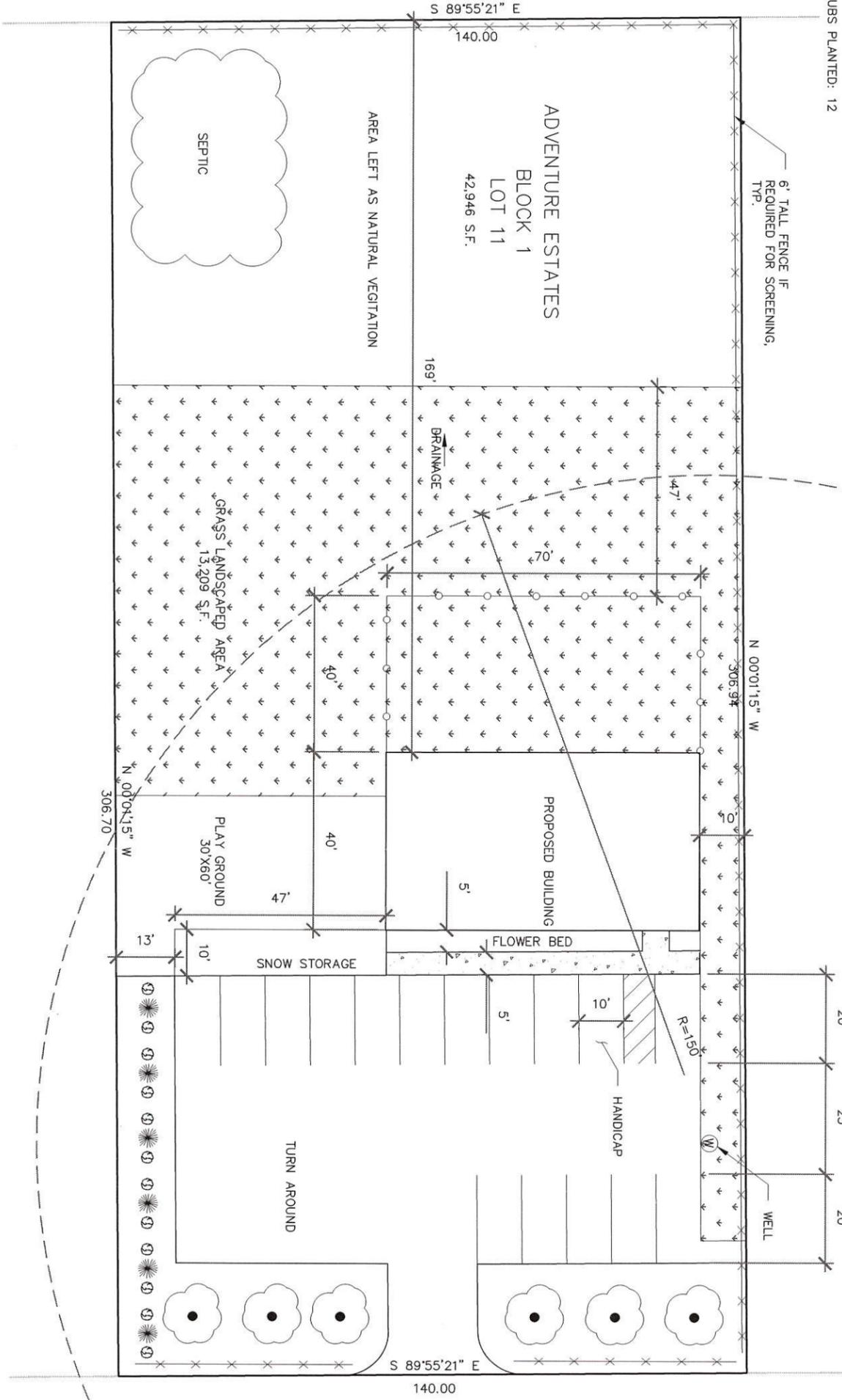
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 CHECKED BY: TS
 DATE: 9/9/2016
G1.01

SITE AREA DATA ANALYSIS

TOTAL DEVELOPED SITE AREA: 42,946 SF
 REQUIRED LANDSCAPED AREA: 12,883 SF
 ACTUAL LANDSCAPED AREA: 13,482 SF
 NATURAL VEGETATION: 13,898 SF
 REQUIRED SNOW STORAGE: 400 SF
 ACTUAL SNOW STORAGE: 459 SF
 TOTAL PARKING SPACES: 18
 TOTAL HANDICAP PARKING SPACES: 1
 REQUIRED PARKING LOT LANDSCAPE: 3,047 SF
 ACTUAL PARKING LOT LANDSCAPE: 3,827 SF
 REQUIRED NUMBER OF NEW TREES PLANTED: 6
 ACTUAL NUMBER OF NEW TREES PLANTED: 12
 REQUIRED NUMBER OF NEW SHRUBS PLANTED: 12
 ACTUAL NUMBER OF NEW SHRUBS PLANTED: 12

SYMBOL LEGEND

- 8' TO 10' CATGNE ASTOR TREES
- 8'-10' PAPER BIRCH TREES
- 24" TO 36" HIGH COTTONEASTER (COTTONEASTER LUICIDUS)
- FENCE

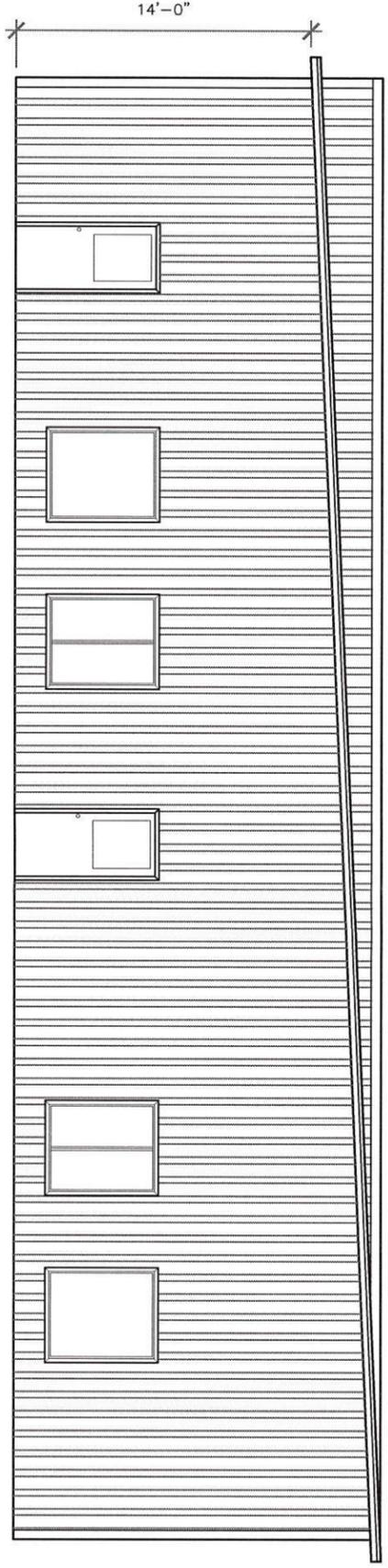
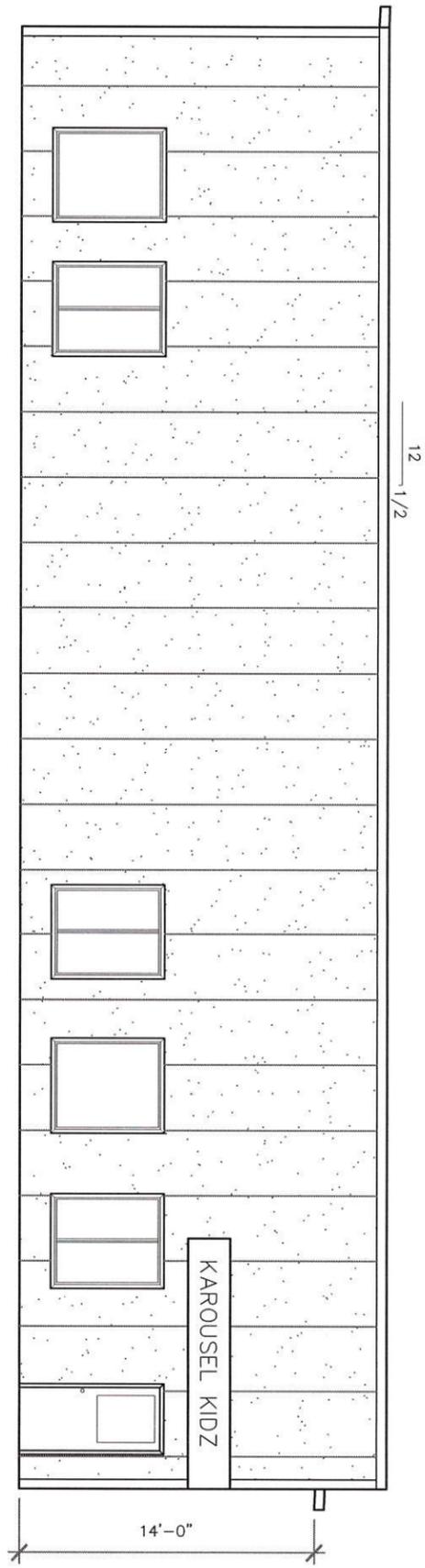


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A1 PLOT PLAN
 C1.01 SCALE: 1"=30'

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<p>KAROUSEL KIDS PLOT PLAN ADVENTURE ESTATES, BLK 1, LOT 11 WASILLA AK</p>																	
<p style="text-align: center;">- Plot Plan</p>																	
<p>Sheet Contents</p>																	
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DRAFTING DISCIPLINE Civil	SHEET NUMBER: C1.01																
DRAWN BY: KEB	CHECKED BY: TS																
DATE: 9/9/2016	DATE: 9/9/2016																

A1 FRONT ELEVATION
A2.01 SCALE: 1/8" = 1'-0"



A2 BACK ELEVATION
A2.01 SCALE: 1/8" = 1'-0"

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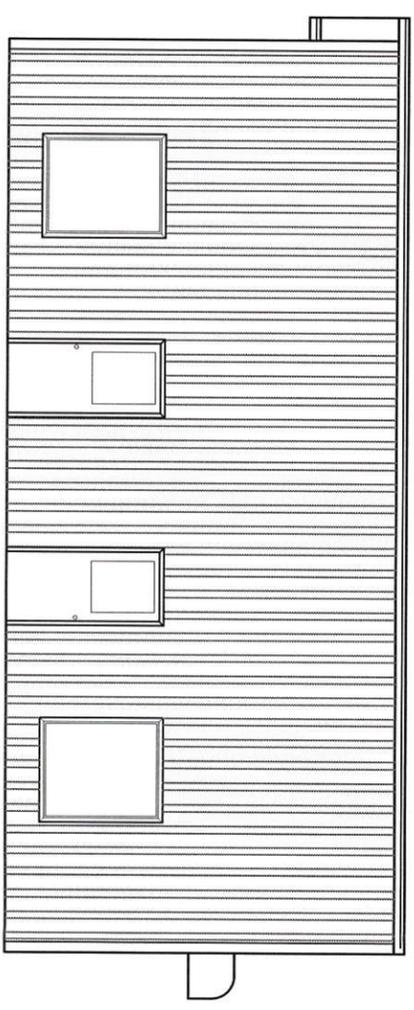
Sheet Contents

- Front & Back Elevations

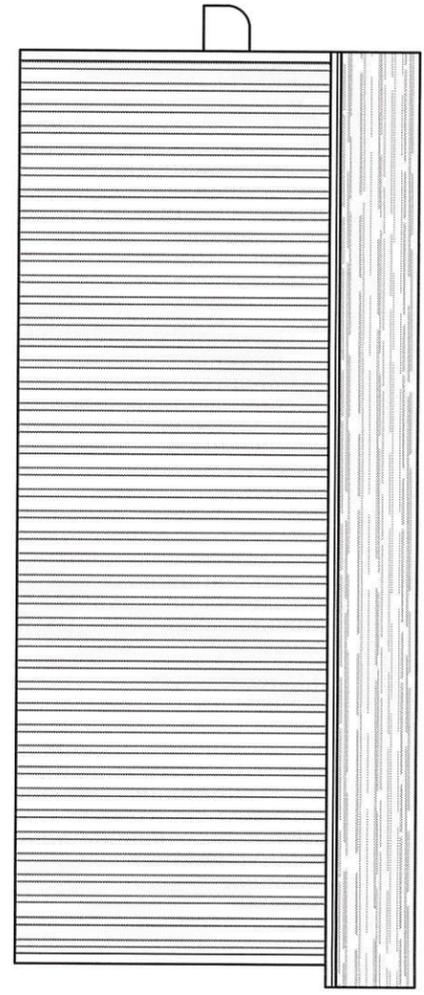
DRAFTING DISCIPLINE
Architectural

DRAWN BY :
KEB
CHECKED BY :
TS
DATE :
9/9/2016
A2.01

A2
A3.01
LEFT ELEVATION
SCALE: 1/8" = 1'-0"



A1
A3.01
RIGHT ELEVATION
SCALE: 1/8" = 1'-0"



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SEP 12 2016
Planning Office
City of Wasilla

<p>NO. REVISION DATE</p> <p>X Revision XXXXXX</p>	<p>Revisions</p>	<p>KAROUSEL KIDS PLOT PLAN ADVENTURE ESTATES, BLK 1, LOT 11 WASILLA AK</p>	<p>SOUND DESIGN 3435 N. Daisy Petal Cr. Wasilla, AK 99654 907.373.7060 www.sounddesignak.com ©2016 Sound Design</p>	
<p>Sheet Contents</p> <p>- Right & Left Elevations</p>		<p>DRAFTING DISCIPLINE Architectural</p> <p>DRAWN BY: KEB CHECKED BY: TS DATE: 9/9/2016 SHEET NUMBER: A3.01</p>		

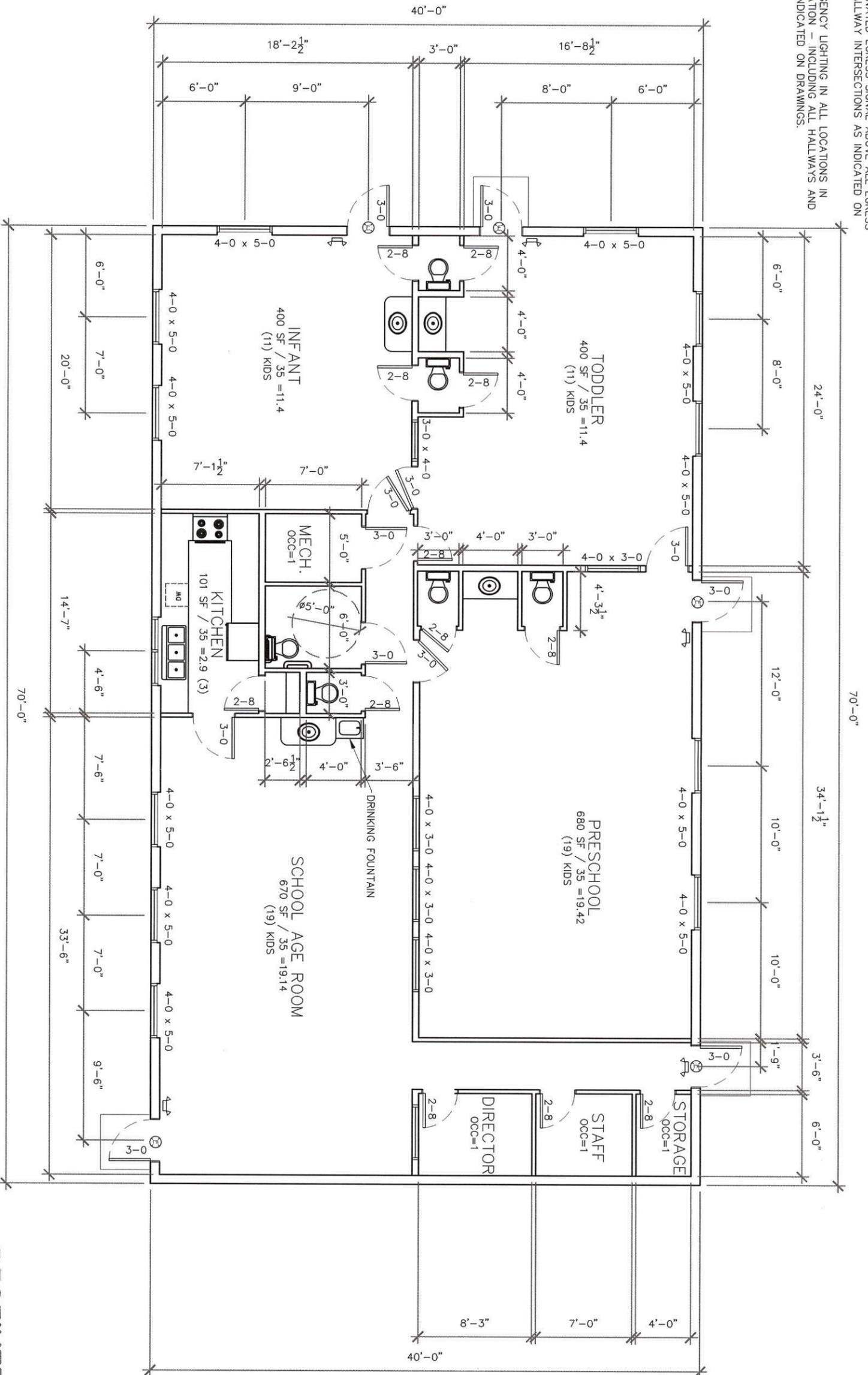
OCCUPANT LOAD = 69

PLACE ONE FIRE EXTINGUISHER IN EACH CLASS ROOM NEAR EXTERIOR EXIT.

PLACE A CO/SMOKE DETECTOR IN EACH CLASS ROOM.

PROVIDE ILLUMINATED EGRESS SIGNAL ABOVE ALL EGRESS DOORS AND HALLWAY INTERSECTIONS AS INDICATED ON DRAWINGS.

PROVIDE EMERGENCY LIGHTING IN ALL LOCATIONS IN PREVIOUS NOTATION - INCLUDING ALL HALLWAYS AND LANDINGS AS INDICATED ON DRAWINGS.

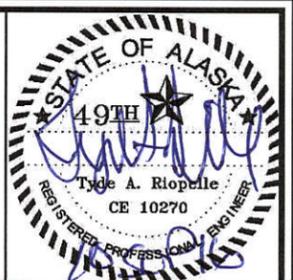


A1 FLOOR PLAN
A1.01 SCALE: 1/8" = 1'-0"

RECEIVED

SEP 12 2016

Planning Office
City of Wasilla



SOUND DESIGN
3435 N. Daisy Petal Cr.
Wasilla, AK 99654
907.373.7060
www.sounddesignak.com
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KAROUSEL KIDS DAYCARE
ADVENTURE ESTATES, BLK 1, LOT 11
WASILLA AK

Revisions		
NO.	REVISION	DATE
X	Revision	XXXXXXXXXX

Sheet Contents	
- First Floor Plan	
DRAFTING DISCIPLINE	Architectural
DRAWN BY:	KEB
CHECKED BY:	TS
DATE:	9/9/2016
A1.01	

CERTIFICATE OF SERVICE

1. I am the Planning Clerk for the City of Wasilla.
2. I certify on this 13 day of September, 2016, I mailed 149 notices of: CU16-02- via first class U.S. Mail and by hand delivery regarding the following:
CU16-02
Land Use Permit # CU16-02.

Residents within 1,200'	<u>119</u>
Review Agencies	<u>25</u>
Planning Commissioners & City Council Members	<u>11</u>
Total	<u>155</u>

DATED at Wasilla, Alaska, September 13, 2016.

CITY OF WASILLA

Tahiri Desjardin
TAHIRIH DESJARDIN
Planning Clerk

Attest:

Tina Crawford
TINA CRAWFORD
City Planner

NOTIFICATION OF PUBLIC HEARING

DATE: September 13, 2016

CASE: CU 16-02

APPLICANT(S)/

PROPERTY OWNER: Charles and Laurel Morris

REQUEST:

Conditional use approval to construct a day care facility providing care for more than 25 children on a lot in the Rural Residential zoning district. Located at 124 W. Spruce Avenue, Lot 11, Block 1, Adventure Estates Subdivision.

You are being notified of this action as you are a property owner within 1,200' of the subject property, (WMC 16.16.040). A Planning Commission public hearing on this request is scheduled for **September 27, 2016 at 6:00 PM** in the City Council Chambers. Comments may be submitted in writing by filling in the spaces provided below and mailing to: City of Wasilla, Planning Office, 290 E. Herning Ave, Wasilla, AK 99654. If there is not enough room below please attach a separate piece of paper. Comments may also be faxed to (907) 373-9021 or emailed to planning@ci.wasilla.ak.us. Written comments on this request must reach the Planning Office on or before September 19, 2016 in order to be included in the packet. Comments received after that date will be available at the public hearing.

Anyone wishing to review the application for this case is encouraged to contact the Planning Office for additional information.

Name _____

Address _____

Lot _____ Block _____ Subdivision _____

Comments:



CITY OF WASILLA
PLANNING OFFICE
290 E HERNING AVE
WASILLA, AK 99654
PHONE 373-9020 FAX 373-9021

FIRST CLASS



CITY OF WASILLA

290 E HERNING AVENUE
WASILLA AK 99654-9050
PHONE: (907) 373-9050
FAX: (907) 373-9092

NOTICE OF APPLICATION FOR CONDITIONAL USE PERMIT

**APPLICANT/
OWNER:**

Charles and Laurel Morris

LOCATION:

Block 1, Lot 11, Adventure Estates Subdivision

FILE NO:

CU 16-02

PROJECT:

Conditional use approval to construct a day care facility providing care for more than 25 children on a lot in the Rural Residential zoning district. Located at 124 W. Spruce Avenue, Lot 11, Block 1, Adventure Estates Subdivision.

A public hearing will be held on **September 27, 2016** at 6:00 PM in the City of Wasilla, Council Chambers.

Comments on this request must reach the Planning Office on or before September 19, 2016 in order to be included in the packet. Comments received after that date will be available at the public hearing. Please, submit comments or requests for more information to:

**CITY OF WASILLA
PLANNING OFFICE
290 EAST HERNING AVE
WASILLA, AK 99654**

**TELEPHONE: 373-9020
FAX: 373-9021
EMAIL: planning@ci.wasilla.ak.us**

Tahirih DesJardin

From: Tahirih DesJardin
Sent: Tuesday, September 13, 2016 12:37 PM
To: 'arcfox@mtaonline.net'
Subject: Public notice to be posted
Attachments: C16-02-NOTICE_FOR_POST.doc

Dear Sirs,

Attached is a posting that needs to be posted on the site 10 business days prior to the meeting, per WMC 16.16.040(A)(2)(f), this needs to be posted no later than Friday, September 13, 2016:

f. The applicant will post the notice on the site at least ten (10) business days prior to the hearing. The Notice shall be posted so that it may be easily seen from the public right-of-way. The applicant is responsible for maintaining the notice.

If the notice is not posted properly and for the time period stated above it will cause it to be postponed until the next Planning Commission meeting, which will be October 11, 2016.

Please send me an email back confirming the site has been posted

Any questions please ask.

Tahirih DesJardin
Planning Clerk
373-9020

5290000L014-A
AHERN SHAWN
674 N PECK ST
WASILLA AK 99654-7170

1050000L010
BARKSDALE DAVID ALLEN
PO BOX 244894
% SOCKEYE ASPHALT
ANCHORAGE AK 99524-4894

1190B01L028
BECKHAM JOS & PATRICIA
1601 CHALLENGE CIR
WASILLA AK 99654

1356B01L009
BLATTER KENT E & LENNY T
335 W CRESTWOOD AVE
WASILLA AK 99654-5533

1190B01L017
BUKKILA JAY
3174 RICHMOND AVE
ANCHORAGE AK 99508

1190B01L002
CARLSON ROBT D & B J
3175 OLD SQUAW LOOP
WASILLA AK 99654

2884B02L007
CHANG PING-TUNG & LI KAN
PO BOX 2886
PALMER AK 99645-2886

6824B02L012E
DEFRANK ADAM M
2270 W RIDGEWOOD DR
UNIT 3
WASILLA AK 99654-5345

1190B01L008
EVANS PHILIP C
PO BOX 872808
WASILLA AK 99687-2808

1190B01L005
FESLER STEPHEN J
PO BOX 521112
BIG LAKE AK 99652-1112

9997000U0186
ALASKA WIRELESS NETWORK, LLC
SPRUCE ST SITE
2550 DENALI ST
STE 1000
ANCHORAGE AK 99503

6654000L011A
BARKSDALE KEVIN
PO BOX 244894
ANCHORAGE AK 99524-4894

1050000L013
BIRD FRANK H & SHIRLEY A
PO BOX 3164
PALMER AK 99645-3164

1356B01L005
BREEN JON R
225 W CRESTWOOD AVE
8
WASILLA AK 99654-5532

1302000L015A
BUNCH JUSTIN R & KASEY H
201 E SPRUCE AVE
WASILLA AK 99654-3859

1302000L015B
CAROTHERS JUDITH A
161 E SPRUCE AVE
WASILLA AK 99654

1170B01L019
COFFEY RYAN A
5300 E BRUMAGE DR
WASILLA AK 99654-8626

1190B01L006
DEHART CHRISTOPHER A
PO BOX 940304
HOUSTON AK 99694-0304

1170B01L028
EZELL WAYNE D & CATHY J
161 W JENSEN CIR
WASILLA AK 99654-3238

1170B01L015
FLETCHER WM D & MELODY M
PO BOX 870184
WASILLA AK 99687-0184

1190B02L005
AZURE STAR II LLC
6115 NW KLICKITAT CT
CAMAS WA 98607-4301

7092B02L005A
BARNETT WALTER Z SR
CHRISTOU RODANTHE
1370 N IVY CIR
WASILLA AK 99654-5630

1190B02L006
BLADES JOSEPH S & CHERYL R
224 W HERITAGE DR
WASILLA AK 99654-5445

1190B02L009
BUENAFE DAVID J
274 W HERITAGE DR
WASILLA AK 99654-5445

4453B02L014A
CAMPBELL G SCOTT & B JANE
1150 S COLONY WAY
STE 3 PMB 226
PALMER AK 99645-6972

1190B01L014
CASH JAMIE F
824 W 25TH AVE
APT 4
ANCHORAGE AK 99503-2548

1190B01L003
DAWSON RONALD L & DARLA K
PO BOX 871190
WASILLA AK 99687-1190

1170B01L016
DROBENKO ALEKSANDR P & S L
1835 N PATSY ST
A
WASILLA AK 99654

1050000L012
FENNER JOHN R
1950 N DOUGLAS DR
WASILLA AK 99654-3823

1302000L015C
FLETT JAMIE J
131 E SPRUCE AVE
WASILLA AK 99654

4626B01L005A
FLOYD GAIL L
220 E FOREST AVE
WASILLA AK 99654

1190B01L015
FULLER SHAWN
2539 S EDGEWOOD CIR
WASILLA AK 99654-8584

1190B02L002
GATTIS RICHARD W
1650 N SHORELINE DR
WASILLA AK 99654-6646

1356B01L002
GIBSON RICHARD A & CHRISTI A
135 W CRESTWOOD AVE
WASILLA AK 99654

1356B01L004
GILPIN TIMOTHY G & MARIA A
201 W CRESTWOOD AVE
WASILLA AK 99654

1356B01L008
GLEASON SCOTT W & GINA M
301 W CRESTWOOD AVE
WASILLA AK 99654

1170B01L023
GRATO DOMINIC T
100 W JENSEN CIR
WASILLA AK 99654-3236

1170B02L003
GUMPRIGHT SHAWN L
1960 N PATSY ST
WASILLA AK 99654

1356B01L006
HAMILTON HARVEY W & DOROTHY
251 W CRESTWOOD AVE
WASILLA AK 99654

1170B02L001
HANKS RODERICK E
280 W ROY RD
WASILLA AK 99654

1170B01L022
HENSON WALLACE L & JANET
101 W SPRUCE AVE
WASILLA AK 99654

1170B02L004
HERMANS DANIEL C & JACKIE E
1930 N PATSY ST
WASILLA AK 99654

1190B01L016
HEWITT JEFFREY M & VICKI R
220 E SPRUCE RD
WASILLA AK 99654-3854

6824B02L012C
HEWITT KATY A
1563 N RAVENS BEST CIR
B
WASILLA AK 99654-5654

4440B02L006C
HEWITT VICKI R
220 E SPRUCE AVE
#A
WASILLA AK 99654-3854

1190B01L007
HUTCHINSON KENNETH E & MARY
PO BOX 871415
WASILLA AK 99687-1415

1050000L009
IRVIN TIMOTHY K
2000 N DOUGLAS DR
WASILLA AK 99654

1190B01L019
JOHNSON JOHN S & RENEE M
1665 N TRAIL CIR
WASILLA AK 99654

2884B02L008
KAN LI
PO BOX 2886
PALMER AK 99645-2886

1190B01L018
KAPPEL ANDY R & ALEA M
6800 S HAYFIELD RD
WASILLA AK 99623-0768

1170B02L008
KIM STEVE
7750 CHERRYWOOD CIR
ANCHORAGE AK 99507-2973

1067B02L009
KING OF KINGS EVANGELICAL
LUTHERAN CHURCH
1701 N LUCILLE ST
WASILLA AK 99654

5554B01L010
KNIK TRIBAL COUNCIL
PO BOX 871565
WASILLA AK 99687-1565

1170B01L018
KOMAKHUK GABRIEL
FISH FOREST A & KATHY A FISH
PATRICIA D
201 W SPRUCE AVE
WASILLA AK 99654-5412

1190B01L023
KOVAL GEORGE A II
1632 N TRAIL CIR
WASILLA AK 99654-5456

5290000L014-B
LACROSSE MARK J
WILSON DAVID C
189 E NELSON AVE PMB 269
WASILLA AK 99654

1170B01L020
LAMPHERE MICHAEL & LESSLIE
151 W SPRUCE AVE
WASILLA AK 99654

1170B01L009
LAWLOR CHRISTOPHER M & D L
2061 N PATSY ST
WASILLA AK 99654

2884B01L012
LINCOLN THOMAS S & MICHELLA K
264 E BRIDGE STONE DR
WASILLA AK 99654

1190B02L003
LOWE NOEL H & SANDRA M
PO BOX 870578
WASILLA AK 99687-0578

2884B02L004
LYSE ERIK N
1340 N IVY CIR
WASILLA AK 99654-5630

1170B01L024
MAGIERA LAURIE J
PO BOX 875486
WASILLA AK 99687-5486

6654000L011B
MAHOY FAMILY 2003 TRUST
2201 N LUCILLE ST
WASILLA AK 99654

1050000L016
MAREK VIRGINIA A
351 E SPRUCE AVE
WASILLA AK 99654

1170B01L021
MARSHALL ANDREW L
2423 WAIANIANI CT
PEARL CITY HI 96782-3496

1190B02L001
MOE CARL L & STACY A
PO BOX 521107
BIG LAKE AK 99652-1107

1190B01L011
MORRIS CHAS W & LAUREL M
751 S REEVE CIR
WASILLA AK 99654

1170B01L010
MORRISON MATTHEW J
2031 N PATSY ST
WASILLA AK 99654-3229

9997000U0034
MTA COMMUNICATIONS
1740 S CHUGACH ST
PALMER AK 99645

1067B02L011
MURPHY MARC E
SEHM-MURPHY ANNE M
191 FOREST AVE
WASILLA AK 99654-5618

1170B01L031
MUZECHUK ANATOLY
648 N PINE RIDGE LOOP
WASILLA AK 99623

1190B01L022
MYERS STEVEN C & DONNA M
1700 N TRAIL CIR
WASILLA AK 99654

5729B02L010C
NAM CHANG W & YOUNG HEE
1501 N LUCILLE ST
WASILLA AK 99654

2884B01L013
NELSON JEFFERY L & KRISTY
290 E BRIDGE STONE DR
WASILLA AK 99654

1170B01L032
NORTHWEST LAND INVESTMENTS
LLC
16633 VENTURA BLVD
1014
ENCINO CA 91436-1859

1170B01T00A
NORTHWOOD HOMEOWNERS ASSOC
PO BOX 873304
% HANK HARTMAN
WASILLA AK 99687-3304

1170B03L038
OHLER CHRISTIAN M & DANETTE R
301 W ROY RD
WASILLA AK 99654-3242

1190B02L011
OLSON ALASKA COMM PROP TR
OLSON GUNNAR O&GUNVOR I TRES
4711 MELVIN AVE
ANCHORAGE AK 99517-3279

1170B03L039
ORR M STEVEN & D DIANE
4300 E BIRCH DR
WASILLA AK 99654-4532

1170B01L029
OWENS RICHARD R
PO BOX 4857
PALMER AK 99645-4857

5554B02L003
PADGETT MICHAEL W & HAIDEE
401 W ROY RD
APT 3
WASILLA AK 99654-3245

1190B02L028
PETERSON MICHAEL DEAN &
SANDRA
1521 N CENTURIAN PL
WASILLA AK 99654

5554B02L006
PETTIJOHN THOMAS GLENN
1001 W BALBOA DR
WASILLA AK 99654-2234

1190B01L010
PHILBRICK DAVID B & AURORA
DAWN
150 W SPRUCE AVE
WASILLA AK 99654

1190B02L007
PULINI SIOSIFA & MELISSA D
250 W HERITAGE DR
WASILLA AK 99654-5472

1170B01L025
RALPH WYNONA K
PO BOX 871413
WASILLA AK 99687-1413

4500B01L011A
RAVINA ROBERT A & VIRGINIA M
2001 N PATSY ST
WASILLA AK 99654-3229

4453B02L013A
ROBBINS RUSSELL D & J K
247 E BRIDGE STONE DR
WASILLA AK 99654

1356B01L001
ROBINSON ALROY I JR & B L
101 W CRESTWOOD AVE
WASILLA AK 99654

1170B03L036
ROBINSON BENJAMIN
251 W ROY RD
WASILLA AK 99654

1190B01L024
RONNING RYAN C
HUNTER SUSEN A
1600 N TRAIL CIR
WASILLA AK 99654-5456

1170B01L014
RYKACZEWSKI MARY
PO BOX 875421
WASILLA AK 99687-5421

1302000L015D
SECOY DAVID P
PO BOX 563
PALMER AK 99645-0563

1170B01L017
SHOCKLEY JUDY P
TACCARINO WILLIAM J
PO BOX 874697
WASILLA AK 99687-4697

5554B02L005
STOKER PAUL M & SONJA ANN
2922 E BRECKENRIDGE DR
BYRON IL 61010-9188

1190B01L009
SUNRISE HOUSE LLC
PO BOX 871927
WASILLA AK 99687-1927

1356B01L003
TROTТА-MIRIGLIANO C L
TROTТА-MIRIGLIANO REBECCA
35 E HORIZON RIDGE PKY
STE 110
HENDERSON NV 89002-7906

1170B02L002
W L TRUST
LUEBKE WILLIAM I & LINDA ATRES
PO BOX 2770
PALMER AK 99645-2770

1170B03L037
WEST BRANDI M
275 W ROY RD
WASILLA AK 99654-3232

5554B02L004
YEAROUT PAUL F
3705 ARCTIC BLVD
430
ANCHORAGE AK 99503

1190B02L004
ROSS WILBERT K
174 W HERITAGE DR
WASILLA AK 99654-5444

1170B01L013
SCHMIDT GENNY
1945 N PATSY ST
WASILLA AK 99654-3228

1170B01L027
SHAEFER ELLIOT
205 W JENSEN CIR
WASILLA AK 99654-3239

1067B02L013
SNYDER THOMAS E III
4400 RIVERTON AVE
ANCHORAGE AK 99517-3696

1067B02L005
STRACKBEIN TED R
REEM NICOLE D
280 E SPRUCE AVE
WASILLA AK 99654-3854

1190B01L030
THOMAS MICHAEL
437 W HERITAGE DR
WASILLA AK 99654-5452

6824B02L012F
VANNOY DANIEL J JR
2876 S LENTON LN
WASILLA AK 99623

1190B02L012
WAHLBERG ANDERS E
2601 W 67TH AVE
ANCHORAGE AK 99502-2218

1170B02L005
WEST EVAN BAKER
WEST LINDA CAROL
PO BOX 90897
WHITE MTN LK AZ 85912-0897

1190B01L020
ZIEGERT MEGAN M
2132 W 2265 N
CLINTON UT 84015-5811

4440B02L006A
RUBIN JAMES & SACHA D
210 E SPRUCE AVE
APT A
WASILLA AK 99654

1356B01L007
SCHULTZ GREGORY & GWENDOLYN
275 W CRESTWOOD AVE
WASILLA AK 99654-5532

4440B02L006B
SHEA BRIAN J & AMBER R
230 E SPRUCE AVE
WASILLA AK 99654-3854

1190B01L013
STARHEIM CARMEN M
2674 W WOODFIELD DR
WASILLA AK 99654

1190B01L004
SUNFLOWER ENTERPRISES LLC
8092 W JULIANA
% DIANE BOBO
WASILLA AK 99623

6824B02L012B
TODD LARRY D
TODD ELIZABETH J
PO BOX 871395
WASILLA AK 99687-1395

5554B02L001
VIENS ANTARES A
620 W ROY RD
WASILLA AK 99654

1170B01L030
WASSILIE MICHAEL JR
PO BOX 1771
BETHEL AK 99559-1771

1170B01L026
WRIGHT PAULA N
413 W FAITH RD
WASILLA AK 99654

Tom Brooks
Alaska Railroad Corp
PO Box 107500
Anchorage AK 99501

Corps of Engineers
Regulatory Branch
PO Box 6898
Elmendorf AFB AK 99506-0898

Richard Boothby
EMS/Central Mat-Su Fire Dept
Fire Code Official Captain
101 W. Swanson Ave
Wasilla AK 99654

ENSTAR
PO Box 190288
Anchorage AK 99519-0288

FAA
Airport Division
222 W. 7th Ave
#14
Anchorage AK 99513

Friends of Mat-Su
202 S Alaska St
Palmer AK 99645

GCI
1879 E Parks Hwy
Wasilla AK 99654

MEA
PO Box 2929
Palmer AK 99645

MSB Chief of Code Compliance
350 E. Dahlia Ave
Palmer AK 99645

MSB Cultural Resources Specialist
350 E. Dahlia Ave
Palmer AK 99645

MSB Fire Chief
101 S. Swanson Ave
Wasilla AK 99654

MSB Planning Director
350 E. Dahlia Ave
Palmer AK 99645

MSB Platting Division Officer
350 E. Dahlia Ave
Palmer AK 99645

MSB Public Works Director
350 E. Dahlia Ave
Palmer AK 99645

MTA
Real Estate Department
PO Box 3550
Palmer AK 99645

NRCS
Soil & Water Conservation
1700 E. Bogard Rd
Suite 206
Wasilla AK 99654-7880

Oran Wooley
SOA/DEC
Waste Water RWV
1700 E. Bogard Rd
Bldg B, #103
Wasilla AK 99654

Roy Robertson
SOA/DEC
Waste Water RWV
1700 E. Bogard Rd
Bldg B, #103
Wasilla AK 99654

SOA/DNR
Commissioner's Office
550 W. 7th Ave
Suite 1400
Anchorage AK 99501

SOA/DNR
WATER Resources
550 W. 7th Ave
Suite 1020
Anchorage AK 99501

SOA/DFG/Habitat
1800 Glenn Hwy
Suite 6
Palmer AK 99645

SOA/DNR
Technical Services
550 W. 7th Ave
Suite 650
Anchorage AK 99510-3577

SOA/DOTPF
Mat-Su Area Planner
PO Box 196900
Anchorage AK 99519-6900

Superintendent
SOA/DOTPF
289 Inner Springer Loop
Palmer AK 99645

Debra Barrett
2860 W. Bayridge Circle
Wasilla AK 99654

Brian Mayer
250 S Vix Way
Wasilla AK 99654

Jessica Dean
209 S. Vix Way
Wasilla AK 99654

Loren Means III
1554 N. Shoreline Drive
Wasilla AK 99654

Claudia Pinard
646 Peck Street
Wasilla AK 99654

COW Public Works Director
Archie Giddings

City Council

City Council

City Council

City Council

City Council

City Council



By: Planning
Public Hearing: 09/27/16
Adopted:

**WASILLA PLANNING COMMISSION
RESOLUTION SERIAL NO. 16-11**

A RESOLUTION OF THE WASILLA PLANNING COMMISSION APPROVING THE CONSTRUCTION OF A DAY CARE FACILITY PROVIDING CARE FOR MORE THAN 25 CHILDREN IN THE RURAL RESIDENTIAL ZONING DISTRICT ON LOT 11, BLOCK 1, ADVENTURE ESTATES SUBDIVISION.

WHEREAS, Charles Morris, Artic Fox Steel Buildings LLC, Agent for Charles and Laurel Morris, Owners, submitted an application for a conditional use permit (CU #16-02) on September 8, 2016; and

WHEREAS, the application included the required site plan and narrative that addresses the general approval criteria in §16.16.050 of the Wasilla Municipal Code; and

WHEREAS, notice of the application was mailed to all property owners within a 1,200 feet radius, the appropriate review agencies, the Wasilla Planning Commission, and the Wasilla City Council as required by §16.16.040(A)(2) of the Wasilla Municipal Code; and

WHEREAS, a notice of the Planning Commission public hearing was published in the Frontiersman on September 18, 2016; and

WHEREAS, the Planning Commission held a public hearing on this request on September 27, 2016; and

WHEREAS, the Wasilla Planning Commission deliberated on this request taking into account the information submitted by the applicant, the evaluation and recommendation by staff contained in the staff report, public testimony – both written

and verbal, the applicable provisions of the Wasilla Municipal Code and Comprehensive Plan, and other pertinent information brought before them; and

WHEREAS, the Wasilla Planning Commission adopted Findings of Fact, attached as Exhibit A, summarizing basic facts and reasoning of the Commission; and

NOW, THEREFORE BE IT RESOLVED, that the Wasilla Planning Commission hereby approves this application with the Findings of Fact, attached as Exhibit A and incorporated herein, with the following conditions:

1. A revised site plan must be submitted to the City Planner prior to any construction activity on the site that addresses the following items prior to any construction activity on the site. Upon approval, the revised site plan will be incorporated into Resolution Serial No. 16-11 as Exhibit B. Any proposed substantial modification to the approved revised site plan requires submittal of an amended conditional use permit application, including application fee and Planning Commission review and approval.
 - a. The building must be shifted to the east a minimum of 20' with the necessary revisions to the playground facility along the eastern end of the building in order to provide the required buffering/screening required in Title 16.
2. A revised landscape plan must be submitted to the City Planner for review/approval that addresses the following items prior to any construction activity on the site. Upon approval, the revised site plan will be incorporated into Resolution Serial No. 16-11 as Exhibit C. Any proposed substantial modification to the approved revised landscape plan

requires submittal of an amended conditional use permit application, including application fee and Planning Commission review and approval.

- a. A minimum of a 25' wide strip of existing natural vegetation must be retained along the length of the western property line;
 - b. A six foot tall opaque fence must be installed along the eastern edge of this vegetative buffer; and
 - c. The septic system must be relocated to a location that is outside the area designated as required 30 percent of the lot required to remain in natural vegetation.
3. Revised elevation drawings for the building must be submitted to the City Planner for review and approval by the Planning Commission prior to any construction activity on the site other than the building foundation/footings. The revised drawings must incorporate building design characteristics that add architectural detail, depth, and fenestration similar to the building designs and photographs included in the packet. Once approved, the elevation drawings will be incorporated into Resolution Serial No. 16-11 as Exhibit C. The Matanuska-Susitna Borough Fire Chief's office must review this proposal for compliance with all applicable fire codes, building codes and emergency access as related to the public health, safety and welfare prior to construction.
4. The applicant must obtain the appropriate permit approvals for installation of a well and septic system from the State of Alaska Department of Environmental Conservation.

5. An as-built survey must be submitted to the Planning Department after completion of the building.

ADOPTED by the Wasilla Planning Commission on --, 2016.

APPROVED:

Jessica Dean, Chair

ATTEST:

Tina Crawford, AICP, City Planner

EXHIBIT A
Wasilla Planning Commission Resolution 16-11
FINDINGS OF FACT – Section 16.16.050, General Approval Criteria

An administrative approval, use permit, elevated administrative approval, elevated use permit or conditional use may be granted if the following general approval criteria and any applicable specific approval criteria of Section 16.16.060 are complied with. The burden of proof is on the applicant to show that the proposed use meets these criteria and applicable specific criteria for approval. An approval shall include a written finding that the proposed use can occur consistent with the comprehensive plan, harmoniously with other activities allowed in the district and will not disrupt the character of the neighborhood. Such findings and conditions of approval shall be in writing and become part of the record and the case file.

16.16.050(1)&(5) *Neighbors/Neighborhoods. Due deference has been given to the neighborhood plan or comments and recommendations from a neighborhood with an approved neighborhood plan.*

Finding: This criterion is not applicable since the lot is not within an area with an adopted neighborhood plan.

16.16.050(2) *Plans. The proposal is substantially consistent with the city comprehensive plan and other city adopted plans.*

Finding: The proposed day care facility is consistent with the Comprehensive Plan's *Expected Future Land Use Map* designation, "Mixed Use", and the Rural Residential zoning that implements the adopted Comprehensive Plan.

16.16.050(3) *Special Uses. The proposal is substantially consistent with the specific approval criteria of Section 16.16.060.*

Finding: The proposal is consistent with the specific approval criteria in WMC Section 16.16.060(B) for day care facilities that provide care to more than 25 children. The criteria require that the total lot area be greater than or equal to 40,000 SF, have frontage and direct access onto a roadway classified as an Arterial, Major Collector, Minor Collector, or Commercial street, and that the lot does not share a lot line with property zoned R1 or R2. The subject lot is approximately 43,000 SF, has frontage and access onto Spruce Avenue (Major Collector), and does not share a property line with a lot zoned R1 or R2.

16.16.050(4) *Reviewing Parties. Due deference has been given to the comments and recommendations of reviewing parties.*

Finding: The City mailed 25 notices to neighboring property owners within 1200' and the 25 review agencies that are typically provided with the opportunity to comment. Only one comment from the Borough Fire Code office was received at time of preparation of this staff report, which indicated that building plans must be submitted to them for review/approval. Any comments received after the compilation of the packet will be provided at the public hearing.

16.16.050(6) *Fire Safety and Emergency Access. The proposal shall not pose a fire danger as determined by the State Fire Marshal or the fire chief of the district in which the proposed use is located. Adequate access for emergency and police vehicles must be provided.*

Finding: The Borough Fire Chief's office will review the proposed building for compliance with all applicable fire codes, building codes and emergency access related to the public health, safety and welfare.

16.16.050(7) *Traffic. The proposed use shall not overload the street system with traffic or result in unsafe streets or dangers to pedestrians...*

Finding: The proposed day care facility will not significantly impact the street system or create a danger to pedestrians since the access point to the facility is onto Spruce Avenue, which is a major collector roadway.

16.16.050(8) *Dimensional Standards. The dimensional requirements of Section 16.24.010 are met.*

Finding: The attached site plan submitted by the applicant complies with the minimum setbacks and maximum height requirements.

16.24.050(9) *Parking. The parking, loading areas, and snow storage sites for the proposed development shall be adequate, safe and properly designed. The developer may be required to install acceptable lighting at pedestrian or vehicular access points.*

Finding: The attached site plan indicates the provision of 18 paved parking spaces (min. 14 required), adequate paved aisle widths, and adequate snow storage on the site.

The site plan does not show the landscaping around the perimeter of the parking area that is required in WMC 16.24.040(D)(4). The 10' planting bed along the perimeter of the parking area that is adjacent to the street must contain trees, shrubs, flowers, boulders, mulch and fencing. The site plan only proposes six trees.

Additionally, a 10' planting bed is required along the non-street sides of the parking area that contains plantings that attain an average height of two feet within two years of planting and that are grouped to allow for snow storage areas. The planting bed along the eastern perimeter of the parking area is consistent with this requirement but the western perimeter does not have the required planting bed.

Condition #2 has been adopted to ensure consistency with this requirement.

16.16.050(10) *Utilities. The proposed use shall be adequately served by water, sewer, electricity, on-site water or sewer systems and other utilities.*

Finding: The site will be served by on-site water and septic system and other utilities are available in the area.

16.16.050(11) *Drainage. The proposed use shall provide for the control of runoff during and after construction. All roads and parking areas shall be designed to alleviate runoff into public streets, adjoining lots and protect rivers lakes and streams from pollution. Uses may be required to provide for the conservation of natural features such as drainage basins and watersheds, and land stability.*

Finding: The proposed site plan shows the drainage directed to southern portion of the lot.

16.16.050(12) *Large Developments. Residential development of more than four units or non-residential development of more than ten thousand (10,000) square feet gross floor area may be required to provide a site plan showing measures to be taken for the preservation of open space, sensitive areas and other natural features; provision of common signage; provision for landscaping and provisions for safe and effective circulation of vehicles, pedestrians and bicycles. Nonresidential large developments must be located with frontage on one of the following class of streets: interstate, minor arterial, major collector or commercial.*

Finding: Sufficient open space and vehicle and pedestrian circulation is provided, the lot is located on Spruce Avenue (major collector roadway); and signage will be reviewed for consistency with Title 16 at time of submittal of sign permit.

16.16.050(13) *Peak Use. The proposed use shall not result in significantly different peak use characteristics than surrounding uses or other uses allowed in the district.*

Finding: The proposed use will not result in significantly different peak use characteristics than the surrounding uses or area since the property is located in an area has a mix of residential and commercial uses. Also, the lot is zoned Rural Residential, which allows a commercial business with up to 10,000 square feet of gross floor area and is located on Spruce Avenue, which is a major collector roadway.

16.16.050(14) *Off-Site Impacts. The proposal shall not significantly impact surrounding properties with excessive noise, fumes or odors, glare, smoke, light, vibration, dust, litter, or interference in any radio or television receivers off the premises, or cause significant line voltage fluctuation off the premises. Radio transmitters and any electronic communications equipment regulated by the Federal Communications Commission is specifically excluded from regulation by this section. Welding, operation of electrical appliances or power tools, or similar activities that cause off site impacts as described above are specifically regulated by this subsection. Buffering may be required to ameliorate impacts between residential and nonresidential uses. The owner of the property upon which the buffer is constructed is responsible for the maintenance of the buffer in a condition that will meet the intent of these criteria.*

Finding: The proposed day care facility will not have any negative impacts on the surrounding area with the exception of the potential noise from the playground areas adjacent to the residential home to the west. The existing vegetation retained along the southern portion of the lot should provide adequate buffering for the homes to the south/southwest.

Condition #3 has been adopted to ensure consistency with this criterion, which will adequately address excess noise from the day care facility that may impact the residential home to the west. It requires that a 25' wide strip of existing natural vegetation be retained along the length of the western property line and that a six foot tall opaque fence be installed along the eastern edge of this

vegetative buffer. Retention of this vegetative area will require the building to be shifted to the east a minimum of 20' and a relocation/reorientation of the playground facility along the eastern end of the building.

- 16.16.050(15)** ***Landscaping. The proposed use shall be designed in a manner that minimizes the removal of trees and vegetative cover, and shall conform to the standards in this title concerning the provision and maintenance of landscaping, and any landscaping plan that is required for the proposed use under this title. The approval authority also may condition approval on the provision of the following:***
- a. A fenced storage area for common use, adequate to store boats, trailers, snowmobiles, recreational vehicles and similar items.***
 - b. Adequately sized, located and screened trash receptacles and areas.***

Finding: The proposed landscape plan does not meet the requirements in Title 16. However, with the adoption of Conditions #2 and #3, the landscaping will meet the requirements.

- 16.16.050(16)** ***Walkways, Sidewalks and Bike Paths. Pedestrian walkways or bicycle paths may be required where necessary to provide reasonable circulation or access to schools, playgrounds, shopping areas, transportation or other community facilities. Improvements must be constructed to standards adopted by the engineer.***

Finding: A pedestrian walkway is currently located along the south side of Spruce Avenue.

- 16.16.050(17)** ***Water, Sewage and Drainage Systems. If a proposed use is within five hundred (500) feet of an existing, adequate public water system, the developer may be required to construct a distribution system and the connection to the public system. A developer may be required to increase the size of existing public water, sewer or drainage lines or to install a distribution system within the development. The commission may require any or all parts of such installation to be oversized. The developer must submit to the engineer an acceptable plan that shows that if within ten (10) years an increase in capacity will be required to serve other areas how these needs will be met by oversized facilities. When installation of oversized facilities is required, the developer shall install such facilities at their own expense. The developer shall be reimbursed the amount***

determined by the engineer to be the difference in cost between the installed cost of the oversized utility lines and the installed cost of the utility lines adequate to serve both the development concerned and all other land to be served by the lines which is owned or under the control of the developer, provided the developer may not be required to install facilities unless funds for such oversizing have been appropriated for the purpose by the city and there is a sufficient unencumbered balance in the balance in the appropriation. No reimbursement may be made unless the developer has entered into such agreement with the city, including conveyances of personal property including lines, lift stations and valves and conveyances of land or rights in land, as the city determines may be necessary to ensure complete control by the city of its sewer, drainage and water lines when they are extended to serve the property of the developer. Notwithstanding the requirement that the developer construct improvements to existing systems, the commission may elect to accomplish the design or construction, or both, of improvements to be made to existing public systems. In such a case, the commission may require advance payment to the city of the estimated cost of work to be accomplished by the city. The developer shall reimburse the city for all expenses of such design or construction not paid in advance. A public system is adequate if, in the judgment of the engineer, it is feasible for the developer to make improvements to the public system which will provide the increased capacity necessary to serve the existing users and the new development at the same level as is being provided to the existing users. Prior to approval of a use for which a community water system is required, the developer must submit evidence showing that there is available a satisfactory source of water. A source of water is satisfactory only if it can be shown that the proposed source will produce water sufficient in quality and quantity to supply the development. The water system and the connection between such distribution systems and the source must be sized and constructed to meet fire flow and hydrant requirements for fire protection and that the developer has obtained or can obtain a water appropriation permit or certificate for the water from the state. The system must be built to city specifications available from the engineer.

Finding: City water and sewer is not available for the site. The applicant will be required to obtain the necessary permits from the Alaska Department of Environmental Conservation. Additionally, the site plan shows drainage directed to southern portion of the lot.

16.16.050(18) ***Historic Resources. The proposed use shall not adversely impact any historic resource prior to the assessment of that resource by the city.***

Finding: The Matanuska-Susitna Borough Cultural Resources Office was notified of this application but did not provide any comments or objections.

16.16.050(19) ***Appearance. The proposed use may be required to blend in with the general neighborhood appearance and architecture. Building spacing, setbacks, lot coverage, and height must be designed to provide adequate provisions for natural light & air.***

Finding: The proposed building design shown in the elevation drawings is not consistent with the appearance and architecture of the residential or neighborhood commercial buildings in the surrounding area or the uses allowed in the Rural Residential zoning district. The proposed building is a large industrial-type building with very little architectural relief or fenestration. This type of design is not in character with the surrounding residential and neighborhood commercial uses and will have a negative impact on the visual aesthetics of this area.

Condition #4 has been adopted to ensure consistency with this criterion.

16.16.050(20) ***Open Space and Facilities. The applicant may be required to dedicate land for open space drainage, utilities, access, parks or playgrounds. Any dedication required by the city must be based on a written finding that the area is necessary for public use or safety and the dedication is in compliance with adopted municipal plans and policy. The city finding shall conclude that a direct connection exists between the development and the need for the provision of the dedication...***

Finding: No additional land is necessary for open space and facilities.

16.16.050(21) ***Winter Hassles. The proposed use shall not significantly increase the impact on the surrounding area from glaciation or drifting snow.***

Finding: There are no foreseeable problems anticipated from winter conditions.

By: Planning
Public Hearing: 09/27/16
Adopted:

**WASILLA PLANNING COMMISSION
RESOLUTION NO. 16-12**

A RESOLUTION OF THE WASILLA PLANNING COMMISSION ESTABLISHING A REVISED SCHEDULE OF FEES FOR WASILLA LAND DEVELOPMENT CODE APPLICATIONS, IDENTIFYING THE REVIEW AGENCIES, AND REPEALING WPC RESOLUTION NO. 04-07.

WHEREAS, Section 16.08.060 of the Wasilla Municipal Code requires the Planning Commission to establish by resolution a schedule of fees for actions under the Wasilla Land Development Code; and

WHEREAS, the Wasilla City Council on April 25, 2016, upon recommendation of the Planning Commission, approved Ordinance Serial No. 16-10, an ordinance adopting Section 16.20.040, Downtown Overlay District and Downtown Overlay District Development Standards (Exhibit B of Ord. 16-10); and

WHEREAS, it is necessary to revise the schedule of fees approved in WPC Resolution 04-07 on March 9, 2004 to adopt a fee for the Design Exceptions process outlined in WMC Section 16.20.040(L);

WHEREAS, the Planning Commission wishes to adopt the following schedule of fees and list of reviewing agencies as indicated below:

SCHEDULE OF FEES

Administrative Approval	\$ 50
Appeals from City Planner Decision	\$250
Appeals from Planning Commission Decision	\$500
Conditional Use Permit	\$500
Enforcement Order Review Hearing	\$ 50
Planned Unit development	\$500
Rezone	\$500
Shoreline Exception	\$ 50

Temporary Use	\$ 50
Use Permit	\$100
Variance	\$500
Amnesty	\$350
Downtown Overlay Design Exception	\$500

REVIEW AGENCIES

CITY

Public Works
 Wasilla Police Department
 Neighborhood Boards, when a neighborhood plan is adopted

BOROUGH

Code Compliance
 Fire Chief
 Planning Director
 Platting Division
 Public Works

FEDERAL

Corps of Engineers/Wetlands
 Federal Aviation Administration
 Natural Resources Conservation Service

STATE

Alaska Department of Environmental Conservation/Wasilla
 Alaska Department of Fish and Game
 Alaska Department of Natural Resources/Water Sources
 Alaska Department of Natural Resources/Technical Services
 Alaska Department of Transportation and Public Facilities/Anchorage
 Alaska Department of Transportation and Public Facilities/Palmer
 Alaska Department of Public Safety
 Alaska Railroad
 Wasilla Soil and Water Conservation District

UTILITIES

Enstar
 MEA
 MTA
 GCI Cable

Non-Code Ordinance

By: Council Member Graham
Introduced: July 25, 2016
Public Hearing: August 22, 2016
Amended: August 22, 2016
Adopted: August 22, 2016

Vote: Burney, Graham, Harvey, O'Barr, Wilson in favor
Sullivan-Leonard absent

**City of Wasilla
Ordinance Serial No. 16-21(AM)**

An Ordinance Of The Wasilla City Council Establishing A Temporary Moratorium On The Construction Of Single Family Dwelling Units Under 700 (Seven Hundred) Square Feet To Expire Not Later Than February 28, 2017, And Referring The Matter To The Planning Commission Seeking A Recommendation Back To The City Council.

WHEREAS, WMC 16.04.010(F) provides that the purpose of Title 16, the Land Development Code, is “[t]o ensure that future growth is of the proper type, design and location, and is served by a proper range of public services and facilities”; and

WHEREAS, WMC 2.60.010(B)(1) provides that the Planning Commission shall “[p]eriodically review the land development code and make recommendations to the council for amendments”; and

WHEREAS, AS 29.40.020 provides that the Planning Commission shall make recommendations concerning zoning regulations restricting the use of land and improvements; and

WHEREAS, the City Council wishes to consider amending WMC 16.24 and 16.04.070 to include the single family dwelling unit requirements outlined in Section 1 of this Ordinance; and

WHEREAS, the amendments address health and safety concerns as well as conformity with the land development code; and

WHEREAS, the City Council wishes to enact a moratorium on the construction of single family dwelling units that do not meet the square footage requirements of 16.24.025, as proposed

in Section 1 below, until the Planning Commission has an opportunity to consider changes to the code.

NOW THEREFORE BE IT RESOLVED, that the City Council refers Section 1 of this Ordinance to the Planning Commission seeking a recommendation back to the City Council and that the Planning Commission take action no later than December 13, 2016.

BE IT FURTHER RESOLVED, that a moratorium on the construction of single family dwelling units that do not meet the square footage requirements of 16.24.025 as proposed in Section 1 below is in effect until action by the City Council or February 28, 2017, whichever is earlier.

Section 1. Referral. The following is referred to the Planning Commission for action by December 13, 2016:

WMC 16.04.070, Definitions, is hereby amended to read as follows:

“Living area” means the commonly heated and/or air-conditioned area of a dwelling unit used for daily living quarters.

WMC 16.24.025, Single Family Dwelling Unit Requirements, is hereby enacted to read as follows:

16.24.025, Single Family Dwelling Unit Requirements

(A) All new single family dwelling units must have a minimum of 700 square feet of living area.

(B) Garages, attached storage facilities, and other areas not intended as living areas shall not be counted toward the minimum size.

Section 2. Effective date. This ordinance shall take effect upon adoption by the Wasilla City Council.

ADOPTED by the Wasilla City Council on August 22, 2016.


BERT L. COTTLE, Mayor

ATTEST:

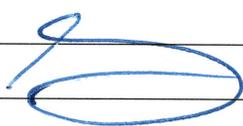
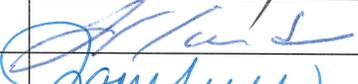
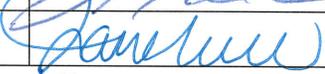

JAMIE NEWMAN, MMC, City Clerk

[SEAL]

CITY COUNCIL LEGISLATION STAFF REPORT

Ordinance Serial No. 16-21: An Ordinance Of The Wasilla City Council Establishing A Temporary Moratorium On The Construction Of Single Family Dwelling Units Under 1,000 (One-Thousand) Square Feet To Expire Not Later Than February 28, 2017, And Referring The Matter To The Planning Commission For Recommendation To The City Council By December 13, 2016

Originator: City Clerk for Council Member Stu Graham 
Date: 7/14/16 Agenda of: 7/25/2016

Route to:	Department Head	Signature	Date
	Chief of Police		
X	Public Works Director		7/14/16
	Recreation & Cultural Services Director		
X	Finance Director		7/14/16
X	Deputy Administrator		7/13/16
X	City Clerk		7/14/16

Reviewed by Mayor Bert L. Cottle:  7:14:2016

Fiscal Impact: yes or no

Attachments: Ordinance Serial No. 16-21 (3 pages)

Summary Statement:

This ordinance is sponsored by Council Member Graham. The purpose of the ordinance is to establish a temporary moratorium on the construction of single family dwelling units under 1,000 square feet and to refer the matter to the Planning Commission. The moratorium will lapse on February 28, 2017. The intent is to have the Planning Commission take action on the issue by December 13, with their recommendation presented to the Council at its first meeting in January 2017.

Staff Recommendation: Introduce and set the ordinance for public hearing.

PERMIT INFORMATION 2016

PERMIT #	APPLICANT	SUBDIVISION	SITE ADDRESS/APPLICATION RCVD	APPROVAL DATE	TYPE	PROJECT TYPE/NEW ADDITION SQ. FTG. ZONE	TAX ID
AA16-01	BOWERS, BEN	WASILLA TOWNSTP	285 E PARKS HWY	01/12/16	PENDING	COMM<10,000 SQ FT	900
AA16-02	COLLIER, JEREMY	LAKEVIEW PROF CONDGS	851 E WESTPOINT DR	01/12/16	01/13/16	TENANT SPACE	750
AA16-03	LITHA	SUN PLAZA	2561 S SUN MOUNTAIN AVE	01/15/16	01/18/16	TUF	C
AA16-04	WUITSCHICK, KATHRYN	IDITAPARCEL ADDN#1	431 W PARKS HWY	01/19/16	01/20/16	TENANT SPACE	2,000
AA16-05	MATICH, YOUNG	NEILSON DOUB	591 E RAILROAD AVE	01/20/16	01/20/16	COMM<10,000 SQ FT	2,800
AA16-06	AT&T MOBILITY	OVERLOOK BUS PK RSB	2251 E PARKS HWY	02/09/16	02/09/16	COMM<10,000 SQ FT	C
AA16-07	ADDICTIVE HAIR CREATATIONS	PRIMROSE POINTE PH1	260 W RIVERDANCE CIR	02/09/16	02/09/16	HOME OCCUPATION	809
AA16-08	WATSON, ROBERT	WASILLA HEIGHTS	1201 W NICOLA AVE	02/16/16	02/17/16	TENANT SPACE	440
AA16-09	HALLMARK LOCATING	WASILLA HEIGHTS	1201 W NICOLA AVE	02/16/16	02/17/16	TENANT SPACE	340
AA16-10	BILLIES TREASURES	MILE 44 PKGS HWY CONDGS	1657 W PARKS HWY	02/17/16	02/22/16	TENANT SPACE	5,400
AA16-11	BRINSON, HEATHER	PROSPECTOR HILLS	1450 N GRUBSTAKE DR	02/24/16	02/29/16	COMM<10,000 SQ FT	2,376
AA16-12	MAT-SU BOROUGH	NEW IDITAROD SCH SITE	455 E CARPENTER CR	02/29/16	02/19/16	SIGN	66
AA16-13	CHAYKA, VLADIMIR	SERENITY EST ADJ1	1501 W PATRICIA AVE	03/08/16	03/31/16	SFD	1,856
AA16-14	KEMP, TIFFANY	GVC	940 E SNOW HILL AVE	03/09/16	03/09/16	ADD TO SFD	1,536
AA16-15	GELTING, BRIAN	THOMAS VIEW	1675 S LINDA CIR	03/09/16	03/18/16	SFD	1,620
AA16-16	BETSILL, ALEX	ADVENTURE EST	1636 N FANCIFUL AVE	03/09/16	03/18/16	FARM ANIMAL	RR
AA16-17	BUZZBEE STUDIOS	THOMAS ADDR2 PH1	201 E SWANSON AVE	03/10/13	03/13/16	TENANT SPACE	440
AA16-18	SMITH, TYLER	WASILLA HTS #1	1401 W PARKS HWY	03/11/16	03/13/16	FOOD TRUCK	240
AA16-19	SCAVETTE, SETH	FOLLETT INDUSTRIAL TR	101 E SWANSON AVE	03/11/16	03/18/16	COMM<10,000 SQ FT	2,218
AA16-20	HOFFMAN, STACEY	WASILLA HTS RSB	1201 W NICOLA AVE	03/15/16	03/16/16	TENANT SPACE	320
AA16-21	ZASTROW, DUSTIN	CENTURY PK 2	1190 S CENTURY DR	03/18/16	03/21/16	SFD	1,900
AA16-22	ROBERT YUNDT HOMES	PRIMROSE POINTER PH 2	195 W CELTIC CIR	03/23/16	04/11/16	SFD	2,301
AA16-23	ALLEY, JEREMY	SNIDER #3	201 W HERNING AVE	03/30/16	03/31/16	TENANT SPACE	325
AA16-24	ARC LAND DEV LLC	GVC II DIV	1250 N LUCILLE ST	04/01/16	04/13/16	MULTI-FAMILY	40,968
AA16-25	AK YOUTH & FAM NETWORK	PARKS MANOR	1051 E BOGARD RD	04/17/16	05/02/16	TENANT SPACE	2,800
AA16-26	THE PERFECT START LLC	700 N WASILLA-FISHHOOK RD	04/11/16	04/27/16	COFFEE STAND	120	
AA16-27	MOCHA MOOSE	IDITAPARCEL ADDN#1	469 W PARKS HWY	04/11/16	04/12/16	TENANT SPACE	516
AA16-28	LAROCGNE, JOE	WASILLA AC	601 N KIMBERLY ST	04/13/16	04/13/16	HOME OCCUPATION	470
AA16-29	AK USA FED CREDIT UNION	CAROL	1850 W RUPEE CIR	04/13/16	04/18/16	SIGN	145
AA16-30	NARDINI, TIMOTHY	SILVERLEAF EST	1862 N ASHFORD BLVD	04/14/16	08/25/16	SUBDIVISION	RR
AA16-31	MONICA'S CONFECTION CONN	WASILLA AIRPARK IND	301 W PARKS HWY	04/18/16	04/18/16	TENANT SPACE	1,250
AA16-32	LIGHTED PATH THER SVC	CAREFREE AP	1261 S SEWARD MERIDIAN PKY	04/18/16	04/18/16	TENANT SPACE	150
AA16-33	HARVEY, JAMES	CREEKSIDE EST	800 E CREEKSIDE DR	04/19/16	04/20/16	FARM ANIMAL	RR
AA16-34	JOHNSTON, JENNIFER	BAYVIEW GARDENS	1000 E TYEE	04/20/16	05/20/16	ADD TO SFD	3,200
AA16-35	LITHA CHRYSLER		1350 S SEWARD MERIDIAN PKY	04/15/16	04/26/16	TUF	2,700
AA16-36	HUTCHINS, GREG	CARTER	200 E PARK AVE	04/25/16	04/26/16	TENANT SPACE	C
AA16-37	BLUE GLACIER LLC	BLUE GLACIER 1321, 1340, 1341 W SHALYNN CIR	04/26/16	05/16/16	TUF	RR	
AA16-38	EATON, SARAH	SNIDER #4	711 W PARKS HWY	04/26/16	04/26/16	TENANT SPACE	1,300
AA16-39	PAVLUS, IGOR	SOUTHVIEW EXIT	3000 SOUTHVIEW DR	04/27/16	04/27/16	SFD	1,130
AA16-40	NANEZ, LUCIA	SNIDER #4	731 W PARKS HWY	04/28/16	04/28/16	EVENT	C
AA16-41	TROY DAVIS HOMES LLC	HOMIE DEPOT	1301 E PALMER WASILLA HWY	05/02/16	05/27/16	COMM<10,000 SQ FT	8,400
AA16-42	ROYALTY HOMES	PRIMROSE PT #2	165 W CELTIC CIR	05/02/16	05/02/16	DUPLEX	4,000
AA16-43	SKRIPNIK, ROMAN	WASILLA AC	1961 W VALUNDA AVE	05/06/16	05/11/16	SFD	2,539
AA16-44	BOCHKORSKY, MARINA	NORTHERN CAPITOL EST	2360 W SUCCESS DR	05/10/16	05/11/16	DUPLEX	4,000
AA16-45	SENA, CHRISTINA	WASILLA HTS #1 RSB	1800 S KNIK-GOOSE BAY RD	05/10/16	05/11/16	TUF	C
AA16-46	RICHARDSON, SPENCER	OLYMPIC	560 S KNIK-GOOSE BAY RD	05/12/16	05/12/16	TENANT SPACE	3,600
AA16-47	SPAIN, KERRIE	KENNEDY ADD	1745 W PIPESTONE DR	05/16/16	05/16/16	COMM<10,000 SQ FT	7,814
AA16-48	TEEN-CHALLENGE	TALLERCO	1745 W PIPESTONE DR	05/17/16	05/17/16	SIGN	Y
AA16-49	MCGUIRE, SEAN & ANDREA	TALLERCO	1745 W PIPESTONE DR	05/17/16	05/17/16	SHED	384
AA16-50	MCGUIRE, SEAN & ANDREA	TALLERCO	1745 W PIPESTONE DR	05/17/16	05/17/16	SHED	240
AA16-51	SPENARD BUILDER SUPPLY	WASILLA HTS #1	1700 W PARKS HWY	05/18/16	05/20/16	TUF	C
AA16-52	PERKUP ESPRESSO	FERN PLAZA	1690 S FERN ST	05/19/16	05/20/16	COMM<10,000 SQ FT	420
AA16-53	SATROM, CHARLEN	TALLERCO RSB	1901 S TUSCARORA DR	05/20/16	05/24/16	HOME OCCUPATION	140
AA16-54	WASILLA BIBLE CHURCH	WASILLA BIBLE CHURCH	1651 W NICOLA AVE	05/23/16	05/24/16	TUF	RR
AA16-55	ROBERT YUNDT HOMES	WASILLA TOWNSTP	357 E PARKS HWY	05/25/16	05/26/16	TENANT SPACE	875
AA16-56	ALASKA BUILT REAL EST LLC	WASILLA TOWNSTP	357 E PARKS HWY	05/25/16	05/26/16	TENANT SPACE	875
AA16-57	MSB	IDITAROD ELEM	801 N WASILLA-FISHHOOK R	05/26/16	06/01/16	SUBDIVISION	C
AA16-58	K&H CIVIL CONTRACTORS	RADON DEV	701 E BOGARD RD	05/31/16	06/01/16	SIGN	32
AA16-59	AK PREMIER DENTAL	WASILLA WOODS	1614 S CLAPP ST	05/31/16	06/01/16	TENANT SPACE	C
AA16-60	WILLIAMS, PLA	FERN PLAZA	1201 N LUCILLE ST	06/02/16	06/07/16	TUF	C
AA16-61	COMMERCIAL ELECTRIC INC	SERENITY EST	1689 S KNIK-GOOSE BAY	06/06/16	06/07/16	TENANT SPACE	1,440
AA16-62	GOLENKA, LEGNITY	BIRCH PARK	1660 W PATRICIA AVE	06/08/16	06/08/16	SFD	C
AA16-63	PAYNE, TYAN	BIRCH PARK	436 N MAIN ST	06/08/16	06/09/16	SIGN	2,450
AA16-64	PAYNE, TYAN	BIRCH PARK	436 N MAIN ST	06/08/16	06/09/16	EXTERIOR REN	C

PERMIT #	APPLICANT	SUBDIVISION	SITE ADDRESS/APPLICATION DATE	APPROVAL DATE	TYPE	PROJECT TYPE/NEW ADDITION SQ FTG ZONE	TAX ID
AA16-65	DAVIS, RON	LAKEVIEW PROF CONDGS	851 E WESTPOINT DR	06/09/16/06/10/16	TENANT SPACE	OFFICE	9010000U101
AA16-66	BOZER, JOLYNN	WASILLA CENTER CONDGS	617 S KNICK-GOOSE BAY RD	06/09/16/06/09/16	TENANT SPACE	RETAIL SHOP	9108000U005
AA16-67	HARVEY, JAMES	CREEKSIDE EST #2	800 E CREEKSIDE DR	06/13/16/06/14/16	FARM ANIMAL	GOAT	1092B02L012
AA16-68	WANG, JOSEPH	WASILLA TOWNSITE	111 E HERMING AVE	06/15/16/06/17/16	FENCE	FENCE	1068B05L010
AA16-69	UNLEASHED HP	THEO ACRES	900 S HERMON RD	06/16/16/06/17/16	COMM <10,000 SQ FT	ENGINE/MACHINE SHOP	7297000L002
AA16-70	CITY OF WASILLA	WASILLA MIDDLE SCH	500 N CRUSEY ST	06/17/16/06/17/16	SIGN	SIGN	7143000T00B-1B
AA16-71	MAT-SU LEGAL SVC	WASILLA TOWNSITE	165 E PARKS HWY	06/17/16/06/17/16	TENANT SPACE	LEGAL SERVICES	7041B04L003A
AA16-72	ZASTROW, DUSTIN	CENTURY PK	1180 S CENTURY DR	06/20/16/06/21/16	SFD	SFD	1261B03L002
AA16-73	SHAPORDA, VADIM	INDIAN HILL	1245 N HOKA HAY	06/21/16/06/21/16	DUPLEX	DUPLEX	2602B01L013
AA16-74	OC DETAILING	WASILLA WOODS	1201 N LUCILLE ST	06/22/16/06/22/16	TENANT SPACE	AUTO DETAILING	1353000L008D
AA16-75	ASHBURN, HALEY	WASILLA CENTER CONDGS	617 S KNICK-GOOSE BAY RD	06/23/16/06/23/16	TENANT SPACE	KNICK PIZZA	9108000U005
AA16-76	WASILLA AREA SENIORS	COTTONWOOD CRK FL	1301 S CENTURY CIR	06/24/16/06/24/16	TUP	FLEA MARKET OUTDOOR EVENT	17N01W15B024
AA16-77	KASTLES KREATIONS	WASILLA EST	1721 E PARKS HWY	06/24/16/07/19/16	TUP	KASTLES KREATIONS	6799000T002
AA16-78	PETROS, JOEL & MEGAN	WASILLA WOODS	700 N SOMERSET CIR	06/27/16/06/30/16	FARM ANIMALS	FARM ANIMALS	1104B06L020
AA16-79	TORMOZOV, MARK	OLYMPIC	1553 N RAVENS BEST CIR	06/28/16/06/29/16	DUPLEX	DUPLEX	5888000L003C
AA16-80	GARDNER, PAUL	PRECISION HOMES	270 SLAMONT CIR	06/30/16/06/30/16	SUBDIVISION	SUBDIVISION	9108000U005
AA16-81	ANCIENT & MODERN PAIN	WASILLA EST	613 S KNICK-GOOSE BAY RD	07/07/16/07/07/16	TENANT SPACE	MEDICAL OFFICE	1104B08L017
AA16-82	WASI	WASILLA EST	1301 S CENTURY CIR	07/07/16/07/07/16	TUP	5K RACE	17N01W15B024
AA16-83	LIFETIME INV LLC	AZALEA WOODS	1740 N NINA CIR	07/08/16/07/08/16	4 PLEX	4 PLEX	7508000L002
AA16-84	LIFETIME INV LLC	AZALEA WOODS	1770 N NINA CIR	07/08/16/07/08/16	4 PLEX	4 PLEX	7508000L003
AA16-85	ZMERZLIUC, VEACESLAV	SERENITY EST ADD 1	1601 W PATRICIA AVE	07/11/16/07/11/16	SFD	SFD	7443000L003
AA16-86	ZMERZLIUC, VEACESLAV	SERENITY EST ADD 1	1501 N SUNNY HILL	07/12/16/07/19/16	SUBDIVISION	SUBDIVISION	3285B02L014D
AA16-87	ZMERZLIUC, VEACESLAV	AK IND HARDWARE	751 W COMMERCIAL DR	07/13/16/07/13/16	TUP	BBQ	6940000L001
AA16-88	AH	SERENITY EST ADD 1	515 N BECCA CIR	07/13/16/07/14/16	SFD	SFD	7443000L011
AA16-89	ELISHA CUSTOM HOMES INC	SERENITY EST ADD 1	1500 W PATRICIA AVE	07/13/16/07/14/16	SFD	SFD	7443000L012
AA16-90	BURNINGHAM, JUDD & MELISSA	GOOSE BAY RIDGE EST	2755 W BAYRIDGE CIR	07/18/16/07/22/16	SFD	SFD	5403000L008
AA16-91	KRAMER, BILL	OLSON 1999 ADDN RSB	1731 E PALER-WASILLA HWY	07/15/16/07/19/16	SIGN	SIGN	6922000T00A5-1
AA16-92	HOLMES, MARC & ANGELEEN	SOUTHVIEW EXT	3160 E DANNYS AVE	07/20/16/07/20/16	GARAGE	DETACHED GARAGE	2377B03L004
AA16-93	MUGSHOT SALON	CREEKSIDE EST #2	251 W PARKS HWY	07/25/16/PENDING	TUP	TUP	17N01W09A006
AA16-94	HARVEY, JAMES	CREEKSIDE EST #2	800 E CREEKSIDE DR	07/27/16/ WITHDRAWN	POLE BARN	POLE BARN FOR GOATS	1092B02L012
AA16-95	VALLEY CHIROPRACTIC	BIRCH PARK WASILLA	400 N MAIN S	08/03/16/08/03/16	EXTERIOR REN	EXTERIOR RENOVATIONS	1004B01L001
AA16-96	GENACTA IN HOME CARE	BIRCH PARK WASILLA	591 N KNIX ST	08/03/16/08/04/16	TENANT SPACE	GENACTA INHOME CARE	5878B02L006A
AA16-97	THOMPSON, MICHELLE	SILVERLEAF EST PH IV	2231 W RIDGEWOOD DR	08/04/16/08/10/16	SUBDIVISION	SUBDIVISION	5980B02L010A
AA16-98	POLANCO, CYNTHIA	SNIDER #4 RSB	707 W PARKS HWY	08/04/16/08/08/16	TENANT SPACE	ART CONSIGNMENT	2705000L014A-1
AA16-99	ZAPIEN, TYREE	SNIDER #4 RSB	707 W PARKS HWY	08/04/16/08/08/16	TENANT SPACE	ARCADE	2705000L014A-1
AA16-100	MIDNIGHT SUN CONST	SNIDER RSB	721 W SELINA LN	08/05/16/08/08/16	SFD	SFD	4733B01L021B
AA16-101	MIDNIGHT SUN CONST	SNIDER RSB	1001 W SELINA LN	08/05/16/08/08/16	SFD	SFD	4733B01L021B
AA16-102	LIFETIME INV LLC	AZALEA WOODS	1705 N NINA CIR	08/10/16/08/10/16	4-PLEX	4-PLEX	7508000L004
AA16-103	WELLSPRING HOME HEALTH	YENLO SQ ONE CONDGS	404 N YENLO	08/15/16/08/25/16	TENANT SPACE	WELLSPRING HOME HEALTH CARE	9101000U001
AA16-104	PAVLUS, SLAVIK	MORTGAGE PARK	2791 E JUDE DR	08/17/16/08/22/16	TENANT SPACE	IP AUTO REPAIR	3108B01L006
AA16-105	KINGS CATHEDRAL & CHAPEL	WASILLA WOODS	1701 N LUCILLE SMITHDRAWN	08/17/16/08/22/16	COMM<10,000 SQ FT	WELLSPRING HOME HEALTH CARE	9101000U001
AA16-106	DELUX INTERIORS LLC	OVERLOOK BUS PK	1061 S ENTERPRISE ST	08/18/16/08/22/16	PORTABLE BLDG	PORTABLE BLDG	1067B02L008
AA16-107	HIGH MARK HOMES	WASILLA WOODS RSB	1501 N SUNNY HILL CIR	08/18/16/08/22/16	TENANT SPACE	COMM<10,000 SQ FT	1116B03L022
AA16-108	LW SURVEY RUSSIA	CENTURY PK	1075 S CHECK ST	08/17/16/08/22/16	DUPLEX	DUPLEX	3285B02L014
AA16-109	ELISHA CUSTOM HOMES INC	SERENITY EST ADD 1	510 N BECCA CIR	08/24/16/08/24/16	TENANT SPACE	SURVEYING CO	1261B02L005
AA16-110	SUMMERS, AARON	PLEASANT VIEW EST	1470 N WASILLA-FISHHOOK RD	08/26/16/08/26/16	SFD	SFD	7443000L006
AA16-111	SENA, CHRISTINA	WASILLA HEIGHTS	851 E WESTPOINT DR	08/29/16/08/31/16	DUPLEX	DUPLEX	2542000L003
AA16-112	DENALI TEK INC	LAKEVIEW PROF CONDGS	851 E WESTPOINT DR	08/29/16/08/31/16	TUP	FOOD TRUCK RALLY	7321B03L015A, 15B
AA16-113	VISION THERAPY	CAREFREE AC	1261 S SEWARD MERIDIAN PKY	08/31/16/09/07/16	TENANT SPACE	OFFICE	9010000U303
AA16-114	HANNAMAN, KEN	INDIAN HILL	1245 W WAMPAN CIR	08/31/16/PENDING	TENANT SPACE	EYE THERAPY	4061B01L001A-1
AA16-115	MAKE A SCENE	LAKEVIEW PROF CONDGS	851 E WESTPOINT DR	08/31/16/PENDING	AWNING	AWNING	2602B02L004
AA16-116	ER AUTOMOTIVE	SNIDER #4	601 W PARKS HWY	08/31/16/09/13/16	TENANT SPACE	OFFICE	9010000U112-1
AA16-117	UEECK, LORRAINE	GVC II DIV IV	1120 E SNOW HILL AVE	08/31/16/09/07/16	SEBACK SIDE YD	ER AUTOMOTIVE	2072000L013B
AA16-118	CHURCH, WILLIAM & JOELL	INDIAN HILL	2451 W MISSION HILLS AVE	09/06/16/09/19/16	SUBDIVISION	SUBDIVISION	2328B03L011
AA16-119	SHAPORDA, VADIM	INDIAN HILL	1245 N HOKA HAY	09/09/16/09/13/16	SUBDIVISION	SUBDIVISION	17N01W06D008
AA16-120	MARTIN, JULIE	IDITAPARCEL ADDN 1	449-445 W PARKS HWY	09/12/16/09/13/16	TENANT SPACE	SUBDIVISION	1637B01L003
AA16-121	LITHIA CHRYSLER OF WASILLA	1350 S SEWARD MERIDIAN PKY	391 E PARKS HWY	09/13/16/09/13/16	TUP	SOUTHSHORE GARDEN SUPPLY	5797000L002A
AA16-122	Y.S RICE	WASILLA TWNST	1212 W MYSTERY AVE	09/15/16/PENDING	SIGN	LITHIA SALE EVENT	17N01W13A006
AA16-123	OKAMOTO, YOSHIMIRO	DISCOVERY HILL PH II	1841 E PARKS HWY	09/16/16/09/19/16	TENANT SPACE	SIGN	1068B02L001
AA16-124	NIGHTMARES UNLIMITED	COTTONWOOD CRK FL	1841 E PARKS HWY	09/16/16/09/19/16	TENANT SPACE	OKAMOTOS KARATE	7406000L004A
AA16-125	SCAVETTE, SETH	FOLLETT INDUSTRIAL TR	101 E SWANSON AVE	03/17/16/03/29/16	MULTI-FAMILY	SPIRITED	6799000T007
UP16-01	K&H CIVIL CONTRACTORS	LAND TRUST 331	1614 S CLAPP S	03/25/16/05/10/16	GRAVEL EXT	4-PLEX	1191000T00B
UP16-02	K&H CIVIL CONTRACTORS	LAND TRUST 331	331 E ASPEN AVE	04/19/16/05/04/16	CAMPGROUND	GRAVEL EXTRACTION	17N02W13A004
UP16-03	KINGS CATHEDRAL & CHAPEL	3301 E PARKS HWY	3301 E PARKS HWY	08/16/16/09/08/16	CHURCH	RVPARK	5432000L003
UP16-04	KINGS CATHEDRAL & CHAPEL	3301 E PARKS HWY	3301 E PARKS HWY	08/16/16/09/08/16	CHURCH	CHURCH	17N01W12D014

PERMIT #	APPLICANT	SUBDIVISION	SITE ADDRESS	APPLICATION DATE	APPROVAL DATE	TYPE	PROJECT TYPE	NEW ADDITION SQ FT	ZONE	TAX ID
CU16-01	HATT, JEFF & LEANNE	OVERLOOK BUS PK	2000, 2040, 2060 E FOUNDRY WAY	06/22/16	07/12/16	COMM>10,000 SQ FT	COMMERCIAL BUILDING	44,475	C	1116B03L004.5.6
CU16-02	MORRIS, CHARLES	ADVENTURE EST	124 W SPRUCE AVE	09/12/16	PENDING	COMM>10,000 SQ FT	DAYCARE	2,800	RR	1119B01L011
PLANNED UNIT DEVELOPMENT (PUD)										
REZONE										
R16-01	SMITH, MICHAEL	DAVID SMITH	1515 S KNIK-GOOSE BAY RD	06/23/16	PENDING	REZONE	RR/C TO C		RR/C	7448000L001
LEGAL NON-CONFORMING USE										
LNC16-01	LAKEVIEW PROF BLDG OWNER ASSN	LAKEVIEW PROF BLDG CONDO\$	851 E WESTPOINT	07/21/16	PENDING	OFFICE BUILDING			C	90100000000
SHORELINE SETBACK										
AMNESTY										
VARIANCE										
LANDSCAPE WAIVERS										
LW16-01	HATT, JEFFREY & LEANNE	OVERLOOK BUS PK	2000, 2040, 2060 E FOUNDRY WAY	04/28/16	05/24/16	LANDSCAPE WAIVER	CLEAR MORE THAN 70%		C	1116B03L004.5.6

MATANUSKA-SUSITNA BOROUGH
PLANNING COMMISSION AGENDA

Vern Halter, Mayor

PLANNING COMMISSION

Mary Anderson, District 1
Thomas Healy, District 2
John Klapperich, Chair, District 3
Colleen Vague, District 4
William Kendig, District 5
Tomas Adams, District 6
Vern Rauchenstein, District 7



John Moosey, Borough Manager

PLANNING & LAND USE
DEPARTMENT

Eileen Probasco, Director of Planning &
Land Use
Sara Jansen, Acting Planning Services
Chief
Alex Strawn, Development Services
Manager
Fred Wagner, Platting Officer
Mary Brodigan, Planning Clerk

*Assembly Chambers of the
Dorothy Swanda Jones Building
350 E. Dahlia Avenue, Palmer*

September 19, 2016
REGULAR MEETING
6:00 p.m.

- I. CALL TO ORDER, ROLL CALL, AND DETERMINATION OF QUORUM
- II. APPROVAL OF AGENDA
- III. PLEDGE OF ALLEGIANCE
- IV. CONSENT AGENDA
Items on the consent agenda are considered to be routine and non-controversial by the Commission and will be approved by one motion. There will be no separate discussion of these items unless a Commission Member so requests, in which case the item will be removed from the Consent Agenda and considered in its normal sequence on the agenda.
 - A. MINUTES
 1. August 15, 2016, regular meeting minutes
 - B. INTRODUCTION FOR PUBLIC HEARING: QUASI-JUDICIAL MATTERS
 1. **Resolution 16-29**, a request for a Conditional Use Permit in accordance with MSB 17.70, Regulation of Alcoholic Beverage Uses, for the expansion of the Knik Super Store Liquor package store, located at Lot 1, Settlers Bay Lodge Subdivision; 5721 S. Knik Goose Bay Road; within Township 17 North, Range 2 West, Section 34, Seward Meridian. Public Hearing: October 3, 2016. (Staff: Susan Lee, Applicant: Mark Button RMB, LLC)

2. **Resolution 16-34**, a request for a variance in accordance with MSB 17.65 – Variances, regarding a variance to MSB 17.55 – Setbacks and Screening Easements, allowing a proposed guest cabin to be built 10 feet from the South Rory Circle public right-of-way, located on Lot 6, Rocky Lake Subdivision, Palmer Recording District; within Township 17 North, Range 3 West, Section 21, Seward Meridian. Public Hearing: October 3, 2016. (*Applicant: Michael Solmonson, Staff: Mark Whisenhunt,*)
3. **Resolution 16-38**, a Conditional Use Permit (CUP) in accordance with MSB 17.67 – Tall Structures including Telecommunication Facilities, Wind Energy Conversion Systems, and Other Tall Structures, for a 200 foot tall telecommunication tower (THP1), located at 29625 S. Talkeetna Spur; MSB Tax ID # 25N04W19A006; within Township 25 North, Range 4 West, Section 19, Seward Meridian. Public Hearing: October 17, 2016. (*Applicant: MTA, Staff: Mark Whisenhunt*)

C. INTRODUCTION FOR PUBLIC HEARING: LEGISLATIVE MATTERS

V. COMMITTEE REPORTS

VI. AGENCY/STAFF REPORTS

VII. LAND USE CLASSIFICATIONS

VIII. AUDIENCE PARTICIPATION (*three minutes per person, for items not scheduled for public hearing*)

IX. PUBLIC HEARING: QUASI-JUDICIAL MATTERS (*Public Hearings shall not begin before 6:15 p.m.*)

Commission members may not receive or engage in ex-parte contact with the applicant, other parties interested in the application, or members of the public concerning the application or issues presented in the application.

The Planning Commission members may submit questions to the Planning Commission Clerk concerning the following matters or request for more information from the applicant at the time of the introduction. All questions and requests submitted by the Commission shall be in writing and copies will be provided to the applicant and made available to all interested parties and the public upon request. Answers to questions and additional material requests will be addressed in the staff report for the public hearing.

- A. **Resolution 16-30**, a Conditional Use Permit (CUP) in accordance with MSB 17.67 – Tall Structures including Telecommunication Facilities, Wind Energy Conversion Systems, and Other Tall Structures, for a 180 foot tall telecommunication tower (NSL1), located at 23619 W. Parks Highway; MSB Tax ID # 18N04W11A001; within Township 18 North, Range 4 West, Section 11, Seward Meridian. (*Applicant: MTA, Staff: Mark Whisenhunt*)

- B. **Resolution 16-31**, a Conditional Use Permit (CUP) in accordance with MSB 17.67 – Tall Structures including Telecommunication Facilities, Wind Energy Conversion Systems, and Other Tall Structures, for a 180 foot tall telecommunication tower (DLY1), located at 41238 W. Parks Highway; MSB Tax ID # 20N04W06C003; within Township 20 North, Range 4 West, Section 6, Seward Meridian. (*Applicant: MTA, Staff: Mark Whisenhunt*)
 - C. **Resolution 16-32**, a Conditional Use Permit (CUP) in accordance with MSB 17.67 – Tall Structures including Telecommunication Facilities, Wind Energy Conversion Systems, and Other Tall Structures, for a 180 foot tall telecommunication tower (KSH1), located at 15960 E. Kashwitna Road; MSB Tax ID # 23N04W29C006; within Township 23 North, Range 4 West, Section 29, Seward Meridian. (*Applicant: MTA, Staff: Mark Whisenhunt*)
- X. PUBLIC HEARING: LEGISLATIVE MATTERS
 - A. **Resolution 16-27**, recommending Assembly adoption of the FY 2018 – 2023 Capital Improvement Program. (*Staff: Sara Jansen*)
 - XI. CORRESPONDENCE & INFORMATION
 - XII. UNFINISHED BUSINESS
 - XIII. NEW BUSINESS
 - XIV. COMMISSION BUSINESS
 - A. Upcoming Planning Commission Agenda Items (*Staff: Sara Jansen*)
 - XV. DIRECTOR AND COMMISSIONER COMMENTS
 - XVI. ADJOURNMENT (Mandatory Midnight)

In order to be eligible to file an appeal from a decision of the Planning Commission, a person must be designated an interested party. See MSB 15.39.010 for definition of "Interested Party." The procedures governing appeals to the Board of Adjustment & Appeals are contained in MSB 15.39.010-250, which is available on the Borough Internet home page, <http://www.matsugov.us>, in the Borough Clerk's office, or at various libraries within the Borough.